

BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

BASEMENT CAR

PARK FOOTPRINT

SITE BOUNDARY LINE

HERITAGE EXTENT

ELEMENTS TO BE

ELEMENTS TO BE

DEMOLISHED

PROPOSED

EXTENT TO BE DEMOLISHED

PRESERVED

**MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT **THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK

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01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 DEVELOPMENT APPLICATION 04 MILLS-OAKLEY REVIEW 05 COURT SUBMISSION - WITHOUT PREJUDICE 06 MILLS OAKLEY REVIEW

07 S34 SUBMISSION

> 09 DEVELOPMENT APPLICATION

AV 18.06.2021

AV 29.06.2021

AV 29.06.2021

AR 27.04.2022

AV 11.05.2022

AR 15.09.2022

PM 19.09.2022

SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 20.09.2022 DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

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IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCES / CONFLICTS.

17.06.0021 PM

CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ

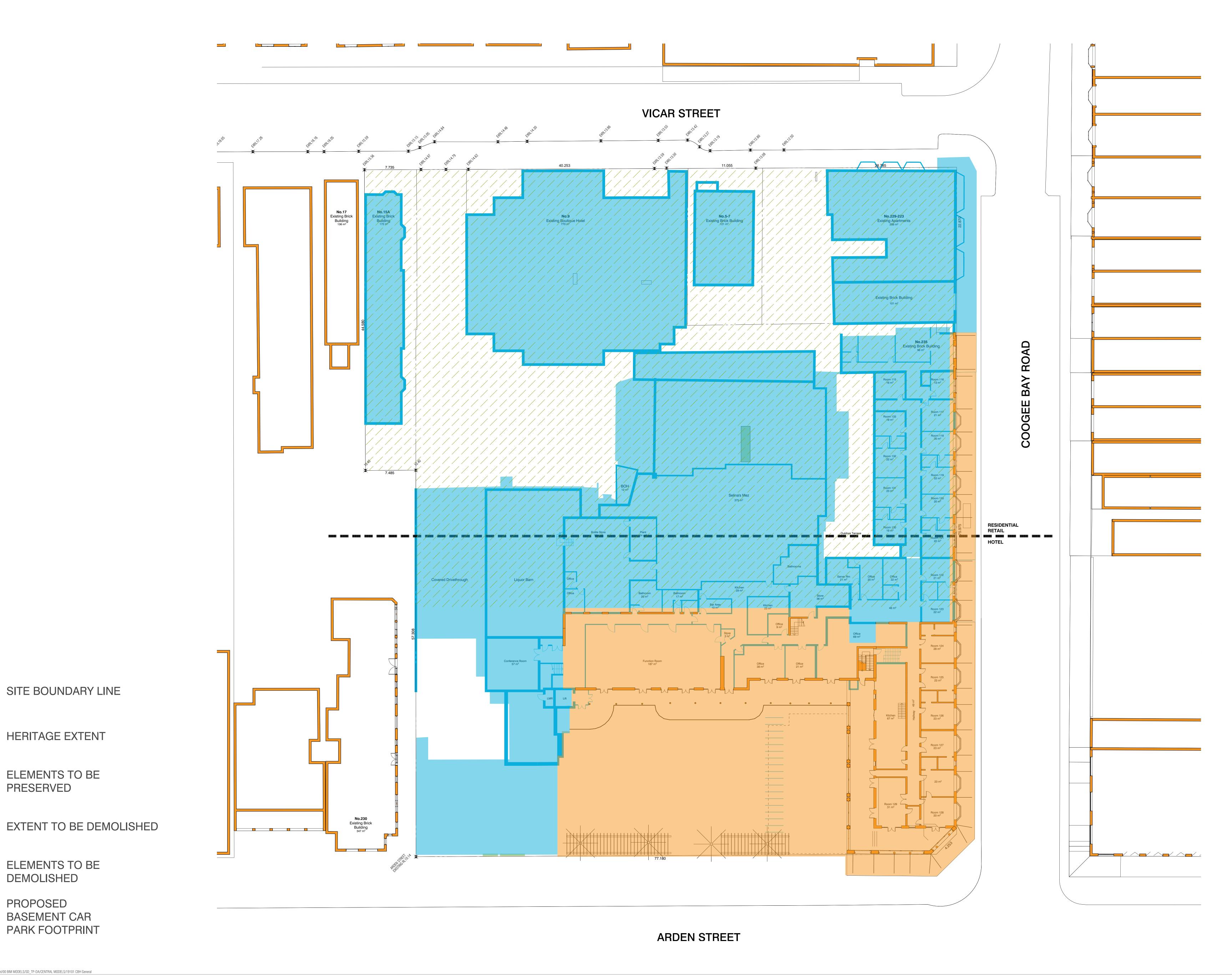
253 COOGEE BAY ROAD 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

DEMOLITION PLAN - GROUND FLOOR

DRAWING TITLE

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

DEVELOPMENT APPLICATION



WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

HERITAGE EXTENT

ELEMENTS TO BE

ELEMENTS TO BE

DEMOLISHED

BASEMENT CAR

PARK FOOTPRINT

PROPOSED

BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General

PRESERVED

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08 DEVELOPMENT APPLICATION AV 17.06.0021 > 09 DEVELOPMENT APPLICATION AV 18.06.2021 AV 29.06.2021 AV 29.06.2021 AR 27.04.2022 AV 11.05.2022 AR 15.09.2022

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QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)

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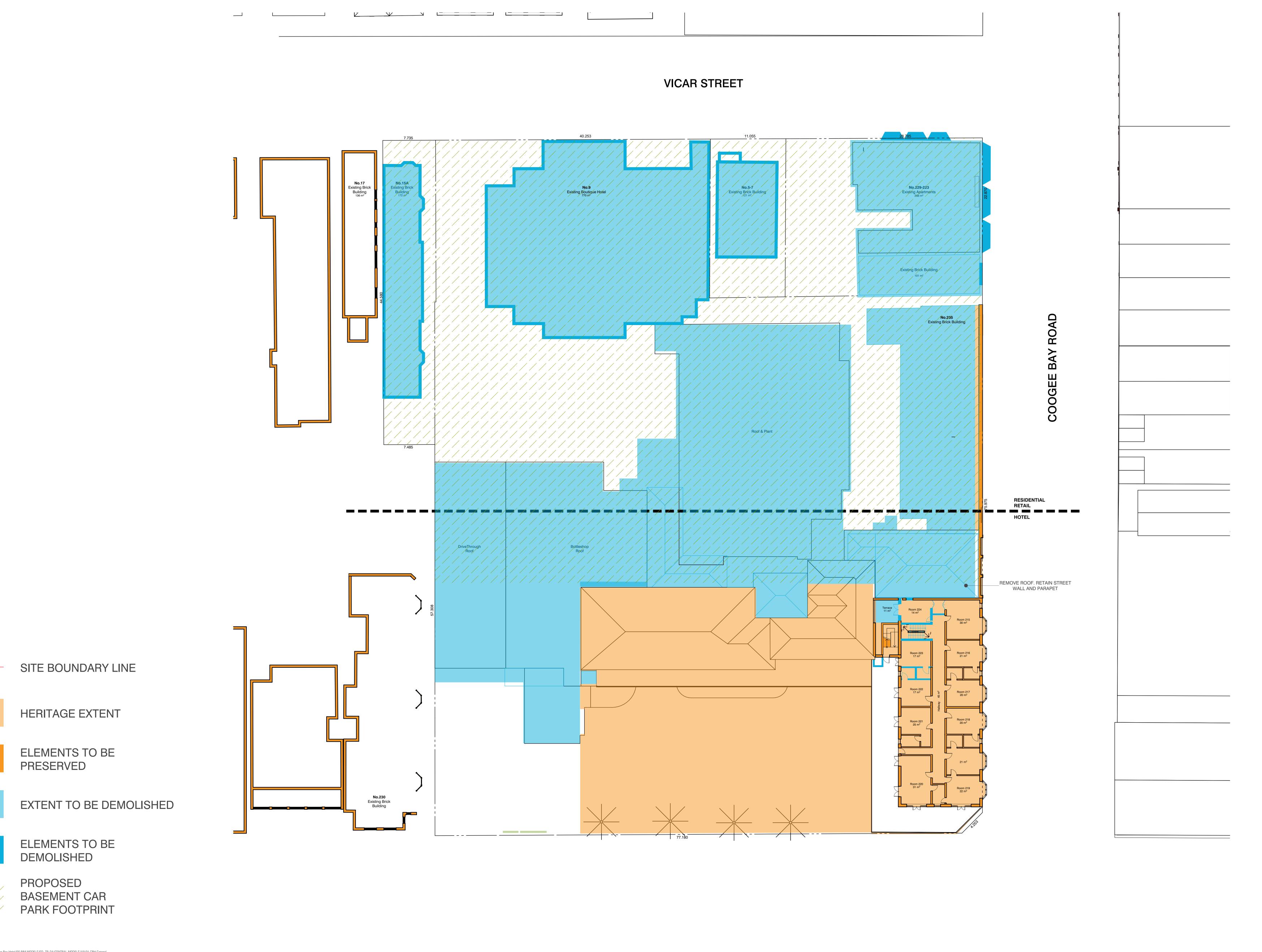
253 COOGEE BAY ROAD 212 ARDEN STREET, 227-233 COOGEE BAY ROAD, 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

DRAWING TITLE

DEMOLITION PLAN - LEVEL 1

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

DEVELOPMENT APPLICATION



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03 MILLS-OAKLEY REVIEW

07 DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION AV 17.06.0021 01 DEVELOPMENT APPLICATION AV 18.06.2021 02 DEVELOPMENT APPLICATION AV 29.06.2021 AR 27.04.2022 AV 11.05.2022 04 COURT SUBMISSION - WITHOUT PREJUDICE 05 MILLS OAKLEY REVIEW AR 15.09.2022 06 S34 SUBMISSION PM 19.09.2022

NZ 13.02.2023

08 DEVELOPMENT APPLICATION

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17.06.0021 PM

253 COOGEE BAY ROAD 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

DRAWING TITLE

DEMOLITION PLAN - LEVEL 2

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DEVELOPMENT APPLICATION



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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION

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04 COURT SUBMISSION - WITHOUT PREJUDICE

03 MILLS-OAKLEY REVIEW

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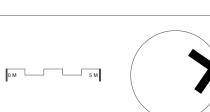
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DATE OF REVIEW: 20.09.2022

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253 COOGEE BAY ROAD

DRAWING TITLE

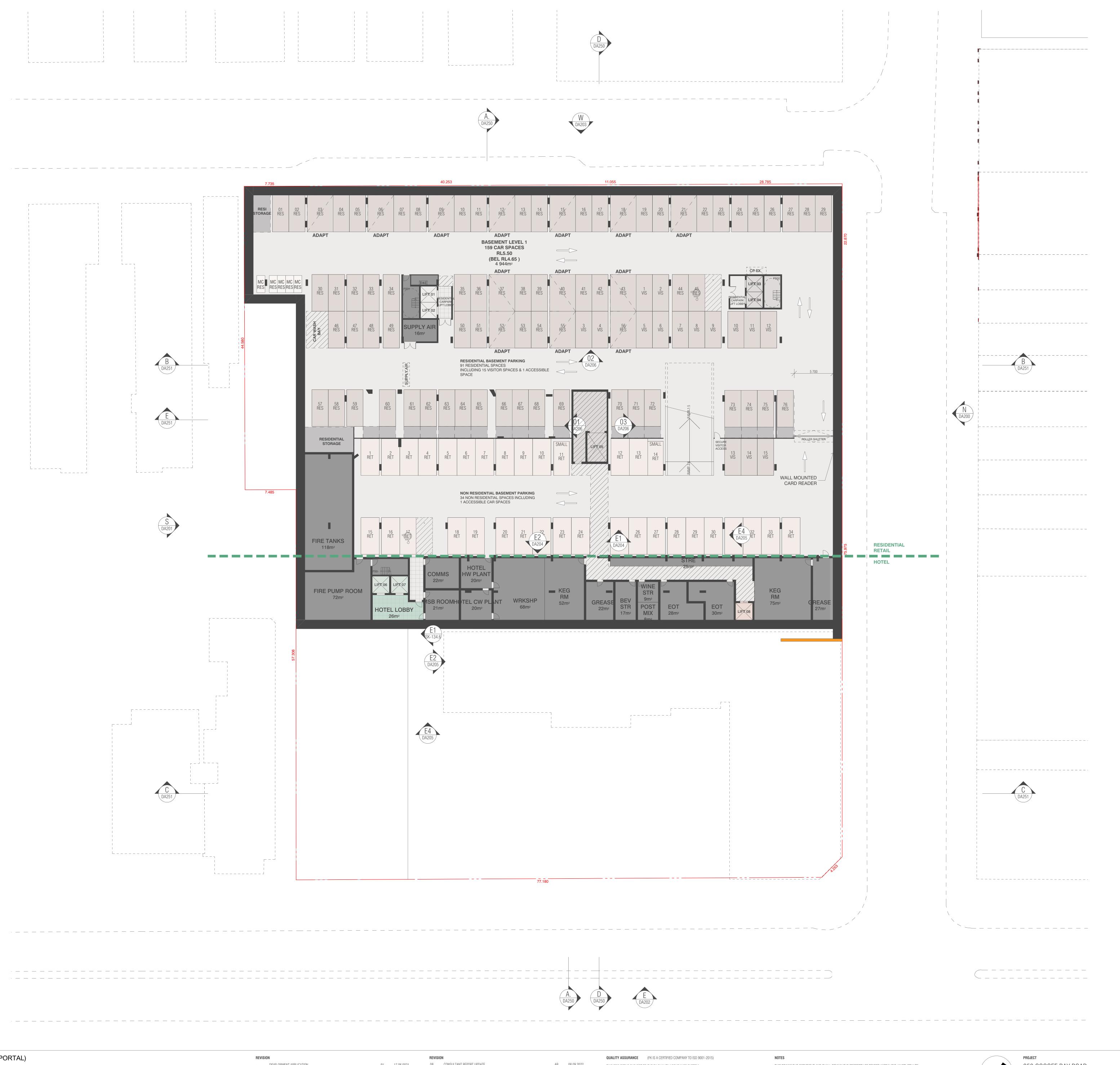
SITE PLAN PROPOSED

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500

DEVELOPMENT APPLICATION

ISSUE PURPOSE

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL) FENDER KATSALIDIS 08 CONSULTANT REPORT UPDATE DEVELOPMENT APPLICATION AV 17.06.0021 AR 08.09.2022 WWW.FKAUSTRALIA.COM THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (AUST) PTY LTD L21, 259 GEORGE STREET, SYDNEY CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ AR 09.09.2022 **MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY 01 DEVELOPMENT APPLICATION 09 CONSULTANT REPORT UPDATE SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 20.09.2022 NEW SOUTH WALES 2000 AUSTRALIA IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED PM 13.09.2022 02 DEVELOPMENT APPLICATION 10 FACADE UPDATES DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT TELEPHONE: +61 2 8216 3500 DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCES / CONFLICTS. FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032 **THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK 03 DEVELOPMENT APPLICATION 11 MILLS OAKLEY REVIEW

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04 DEVELOPMENT APPLICATION 05 MILLS-OAKLEY REVIEW 06 COURT SUBMISSION - WITHOUT PREJUDICE 07 CONSULTANT REPORT ISSUE

AV 11.05.2022 PM 05.09.2022 > 15 DEVELOPMENT APPLICATION

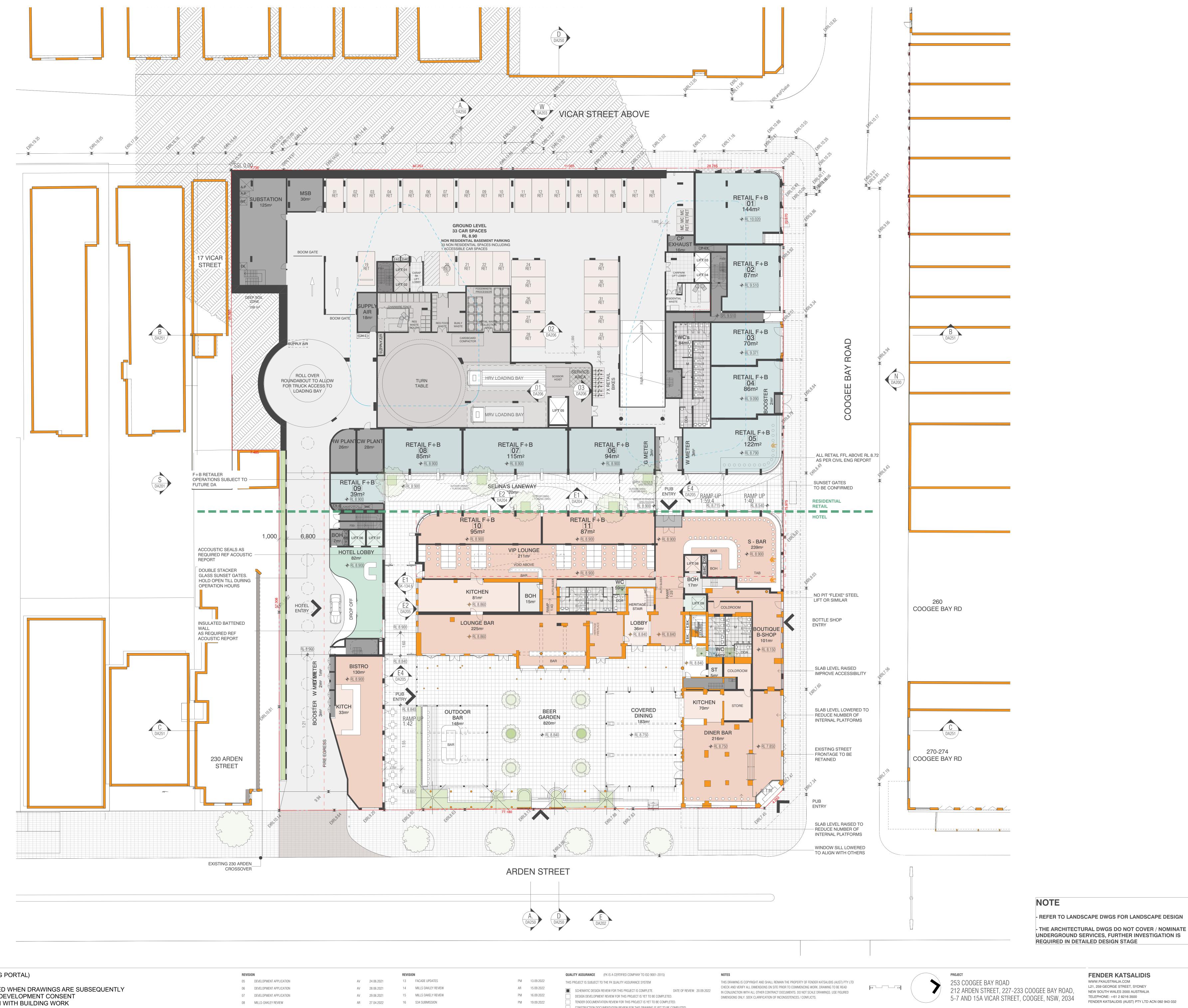
12 MILLS OAKELY REVIEW 13 S34 SUBMISSION 14 DEVELOPMENT APPLICATION

AR 15.09.2022 PM 16.09.2022 PM 19.09.2022 NZ 13.02.2023 MY 17.06.0021

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DEVELOPMENT APPLICATION



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09 COURT SUBMISSION - WITHOUT PREJUDICE 10 CONSULTANT REPORT ISSUE 11 CONSULTANT REPORT UPDATE

12 CONSULTANT REPORT UPDATE

17 DEVELOPMENT APPLICATION 18 DEVELOPMENT APPLICATION 19 DEVELOPMENT APPLICATION AR 08.09.2022 ➤ 20 DEVELOPMENT APPLICATION AR 09.09.2022

NZ 13.02.2023 MY 17.06.0021 DRAFT, SUBJECT TO REVISION WITHOUT NOTICE TA 19.07.2023

MY 10.08.2023

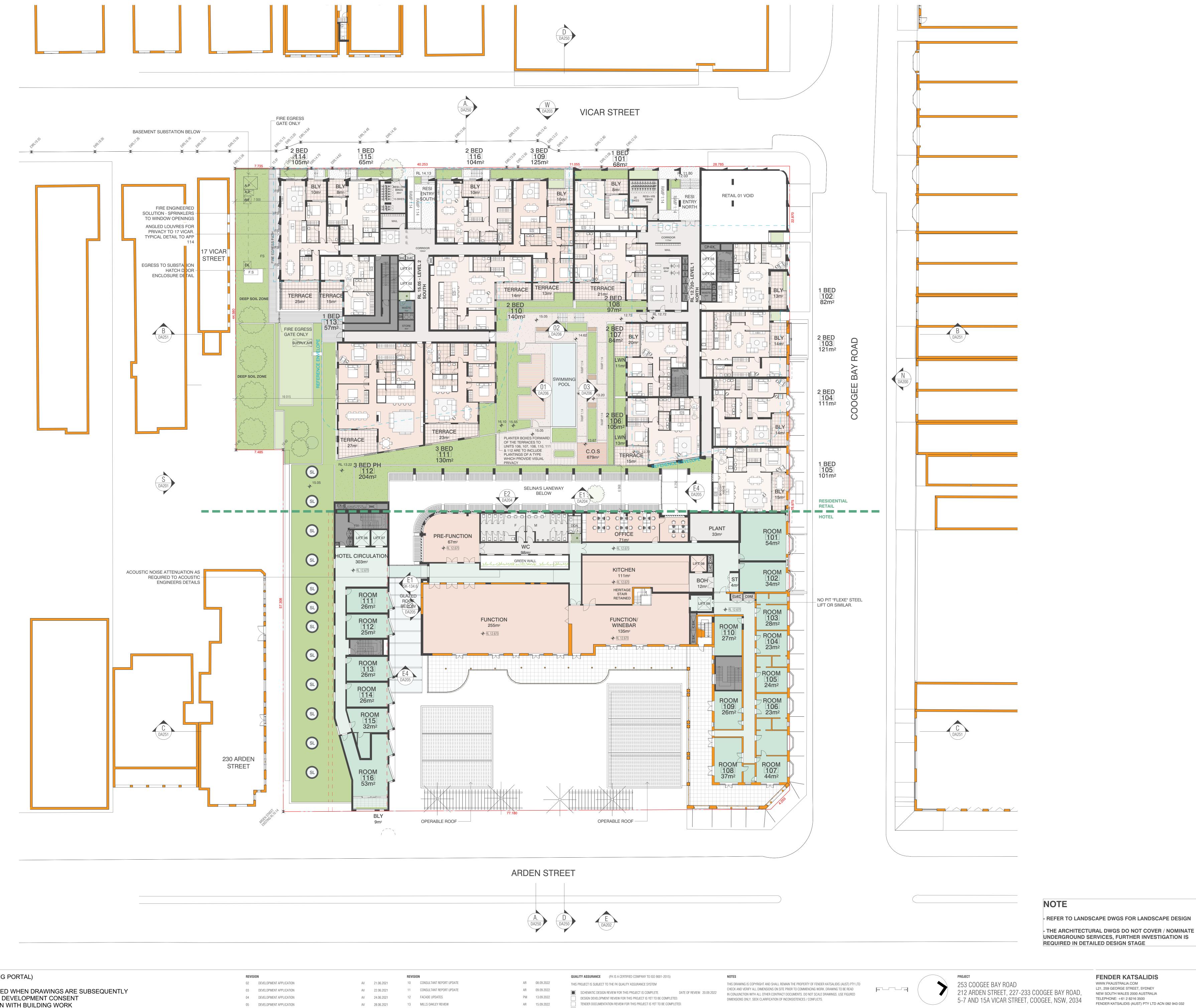
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DRAWING TITLE

GROUND FLOOR PLAN

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032





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09 CONSULTANT REPORT ISSUE

AV 11.05.2022 PM 05.09.2022 > 17 DEVELOPMENT APPLICATION

14 S34 SUBMISSION 15 DEVELOPMENT APPLICATION 16 DEVELOPMENT APPLICATION TA 19.07.2023

PM 19.09.2022 NZ 13.02.2023 DRAFT, SUBJECT TO REVISION WITHOUT NOTICE MY 17.06.0021

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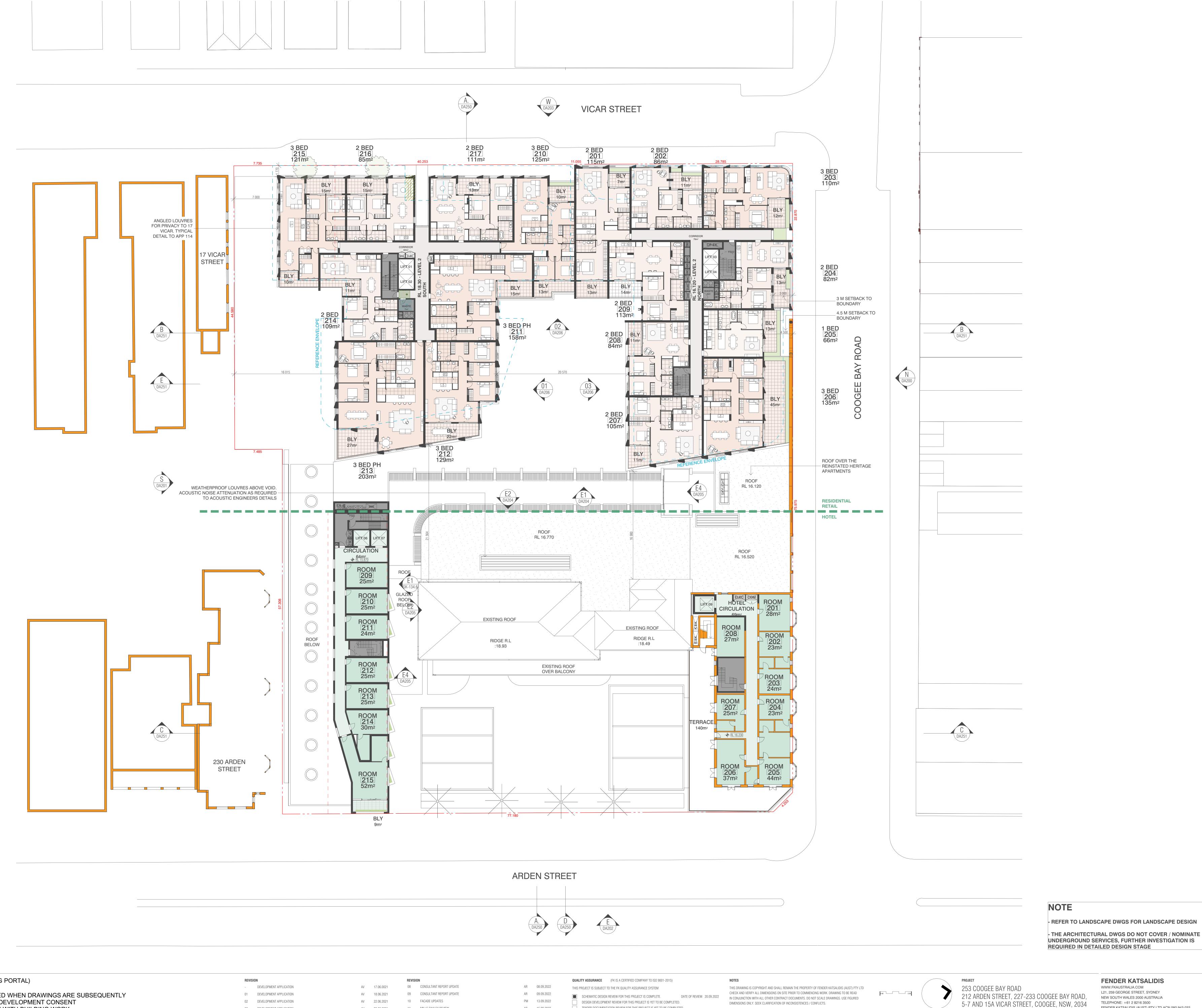
19.07.2023 PM

DRAWING TITLE

LEVEL 01 FLOOR PLAN

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

DEVELOPMENT APPLICATION



NOTE

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03 DEVELOPMENT APPLICATION 04 DEVELOPMENT APPLICATION 05 MILLS-OAKLEY REVIEW

06 COURT SUBMISSION - WITHOUT PREJUDICE

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AV 11.05.2022

11 MILLS OAKLEY REVIEW 12 S34 SUBMISSION 13 DEVELOPMENT APPLICATION 14 DEVELOPMENT APPLICATION PM 05.09.2022 > 15 DEVELOPMENT APPLICATION

AR 15.09.2022 PM 19.09.2022 NZ 13.02.2023 DRAFT, SUBJECT TO REVISION WITHOUT NOTICE MY 17.06.0021

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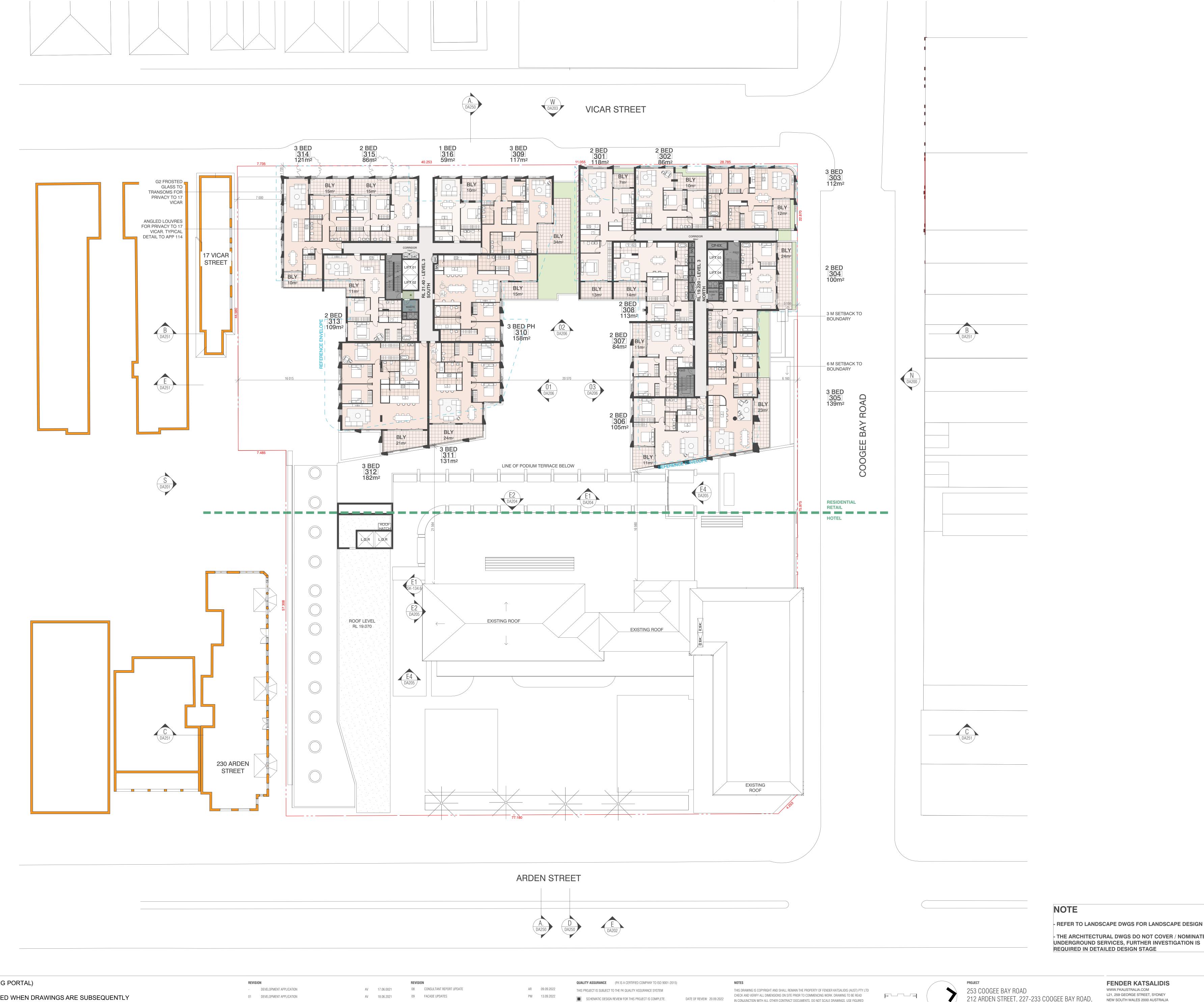
19.07.2023 PM

DRAWING TITLE

LEVEL 02 FLOOR PLAN

5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

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06 CONSULTANT REPORT ISSUE

07 CONSULTANT REPORT UPDATE

PM 05.09.2022 AR 08.09.2022

10 MILLS OAKLEY REVIEW 11 S34 SUBMISSION 12 DEVELOPMENT APPLICATION 13 DEVELOPMENT APPLICATION > 14 DEVELOPMENT APPLICATION

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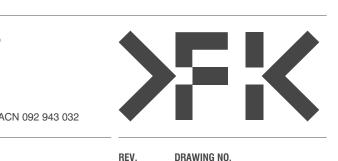
LEVEL 03 FLOOR PLAN

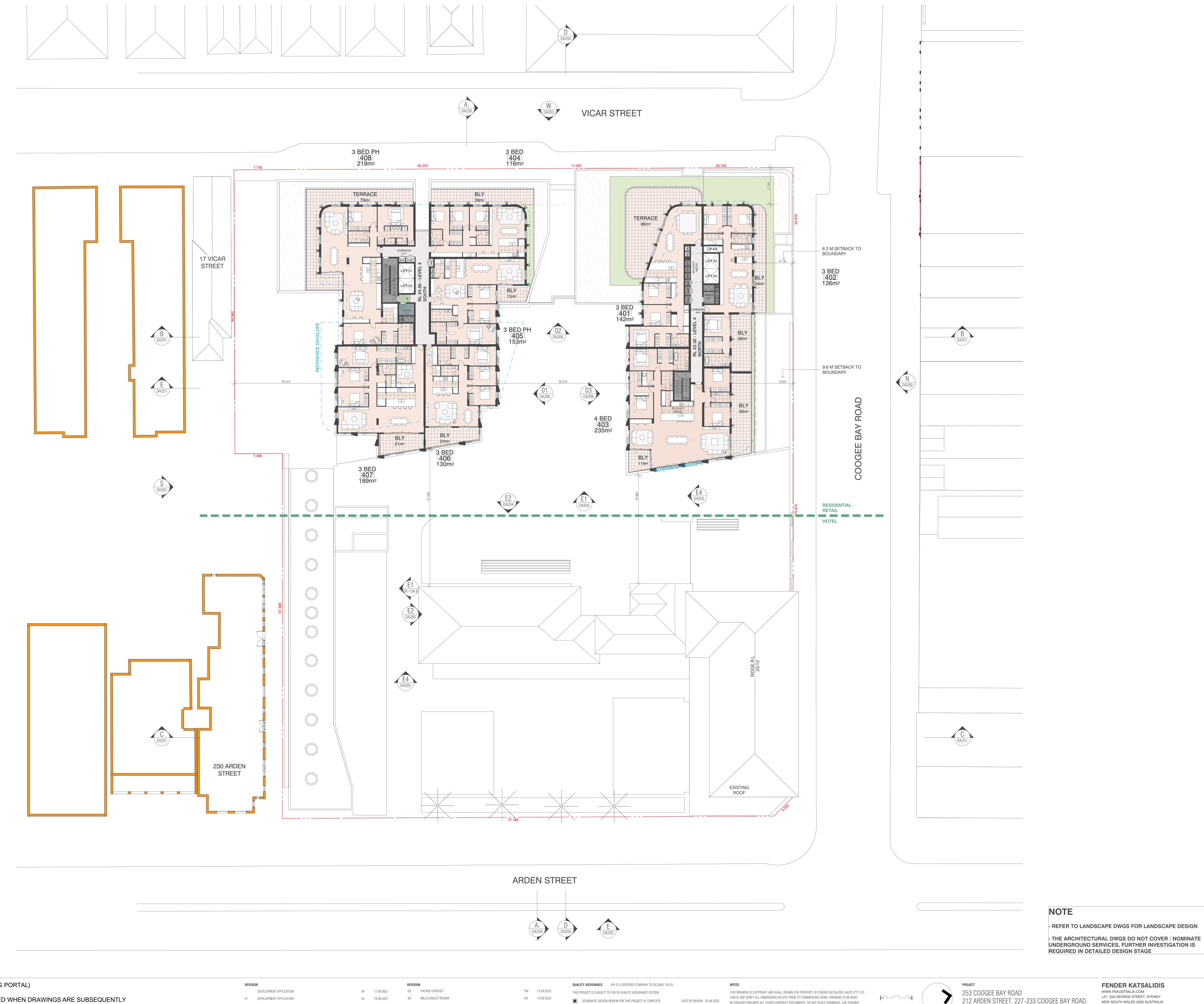
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ISSUE PURPOSE

DEVELOPMENT APPLICATION





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07 CONSULTANT REPORT UPDATE

05 CONSULTANT REPORT ISSUE 06 CONSULTANT REPORT UPDATE AR 08.09.2022

AR 09.09.2022

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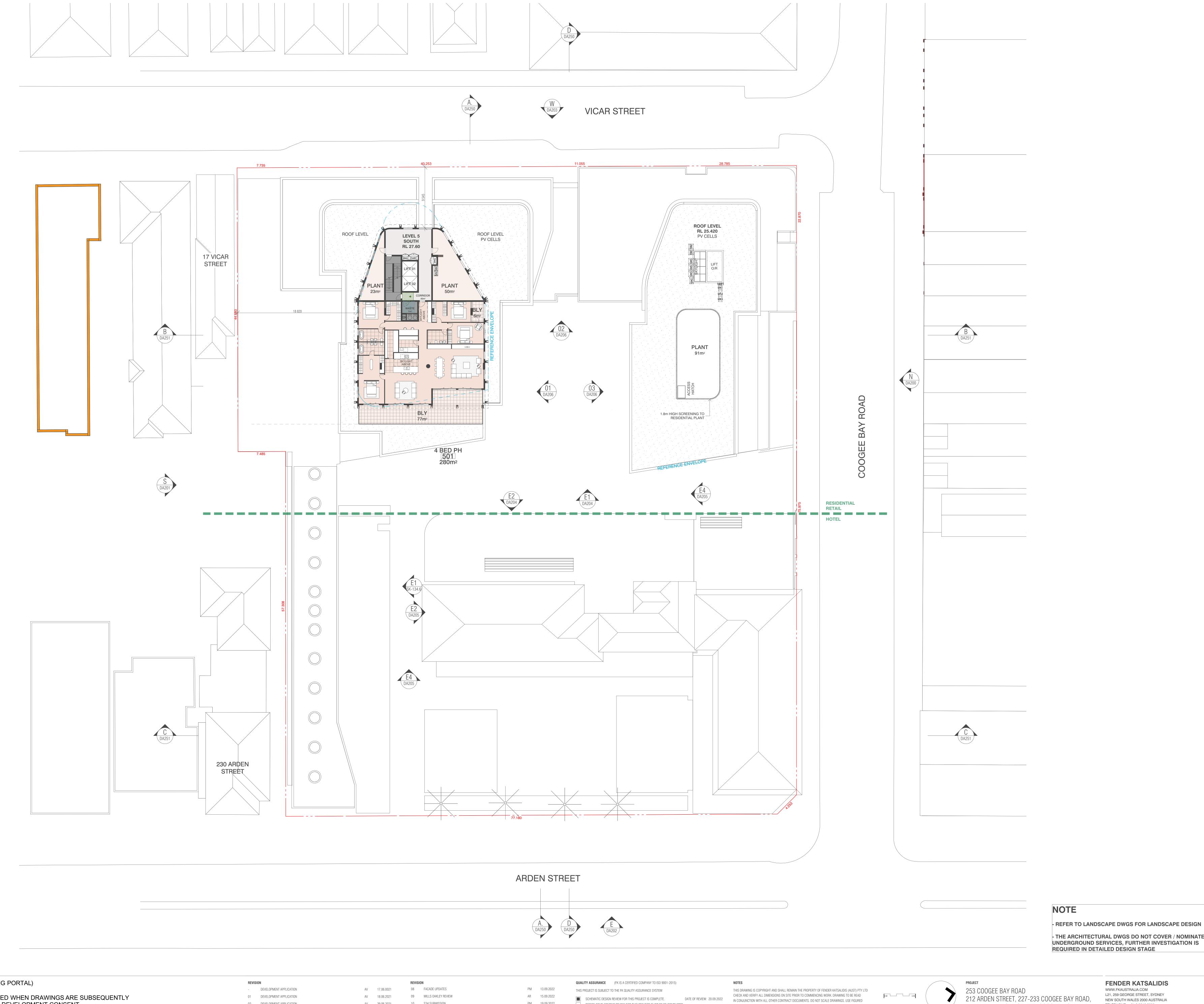
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LEVEL 04 FLOOR PLAN

5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

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DEVELOPMENT APPLICATION



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05 CONSULTANT REPORT ISSUE

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AR 08.09.2022

AR 09.09.2022

10 S34 SUBMISSION 11 DEVELOPMENT APPLICATION 12 DEVELOPMENT APPLICATION > 13 DEVELOPMENT APPLICATION PM 19.09.2022 NZ 13.02.2023 MY 17.06.0021 TA 19.07.2023

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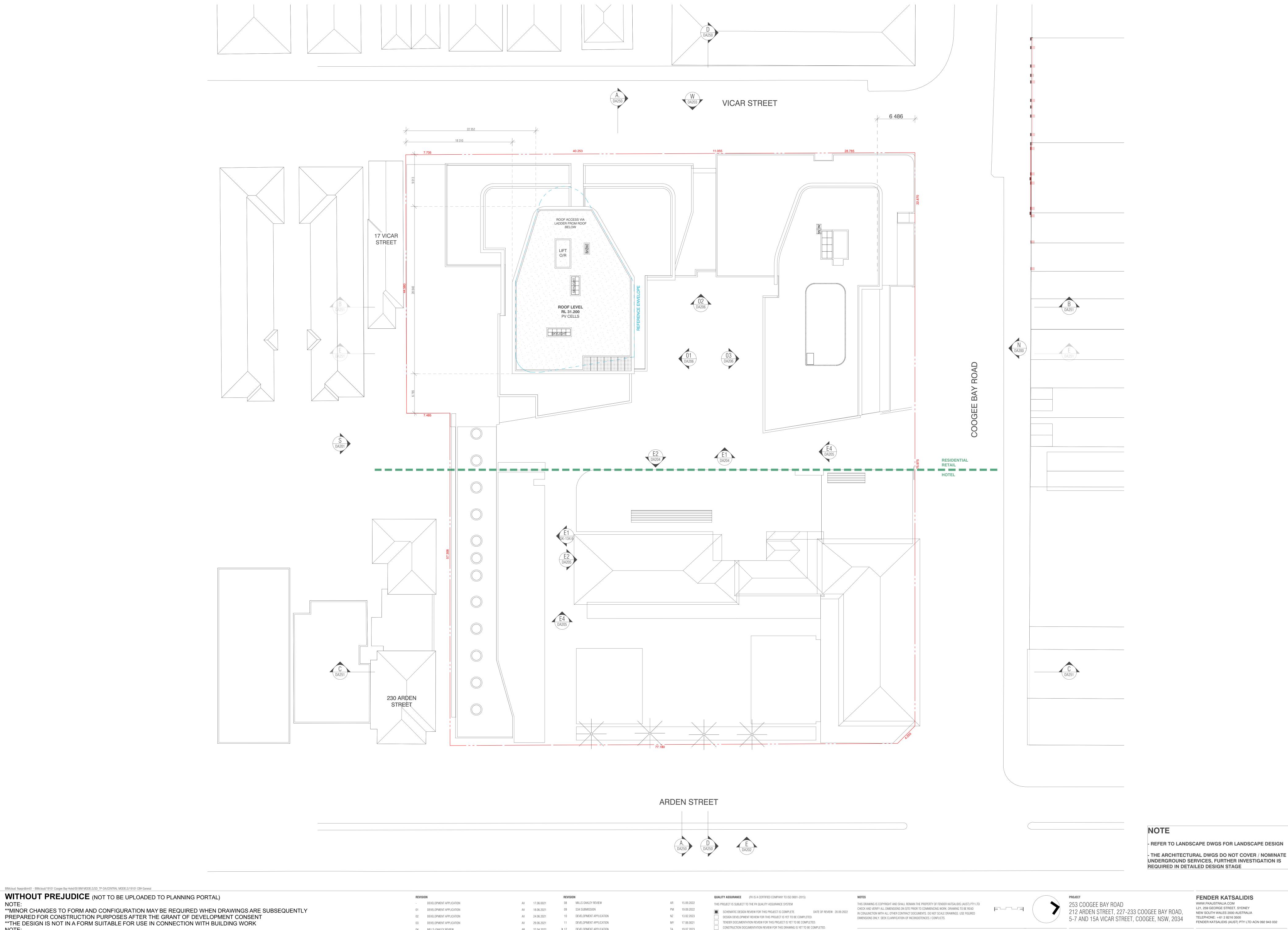
DRAWING TITLE

LEVEL 05 FLOOR PLAN

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DEVELOPMENT APPLICATION





PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT **THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK

BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General

**MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT **THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK

04 MILLS-OAKLEY REVIEW 05 COURT SUBMISSION - WITHOUT PREJUDICE

06 CONSULTANT REPORT ISSUE

07 CONSULTANT REPORT UPDATE

AR 27.04.2022 AV 11.05.2022 PM 05.09.2022 AR 08.09.2022

> 12 DEVELOPMENT APPLICATION

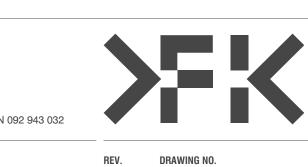
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DRAWING TITLE

LEVEL 06 ROOF PLAN

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DEVELOPMENT APPLICATION







BR1 - BRICK COLOUR MEDIUM

BR2 - BRICK COLOUR LIGHT **BR3** - REINSTATED HERITAGE BRICK **CF1** - CONCRETE NATURAL GREY

G1 - GLASS CLEAR

(NO POST APPLIED FILM) **GS1** - ACOUSTIC GLASS SCREEN

LV1 - METAL CLAD SHADING LOUVRE

(COLOUR REF TYPICAL LOUVRE DET.)

M1 - METAL CLAD BRONZE DARK

M2 - METAL CLAD BRONZE MID M3 - METAL CLAD GREY

M4 - METAL CLAD ZINC GREY

PT1 - OFF-WHITE PAINT LIGHT

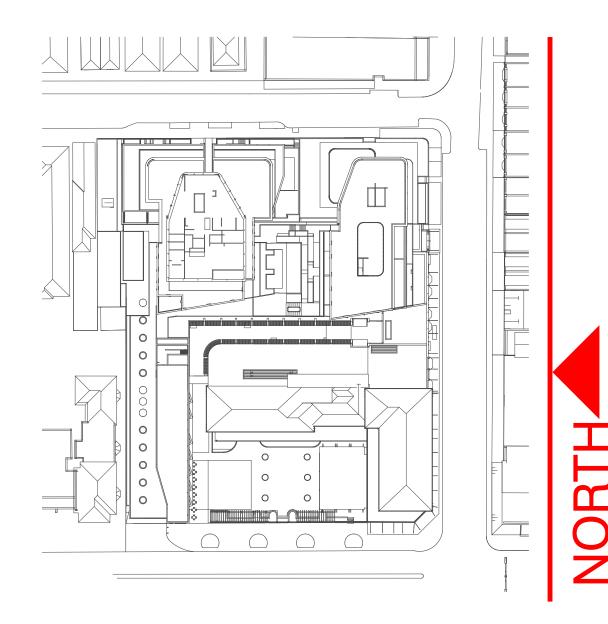
PT2 - OFF-WHITE PAINT DARK

PT3 - BRONZE PAINT

PT4 - GREY PAINT **ST1** - STONE COLOUR LIGHT TW1 - GLAZED TILE

DRAWING TITLE

ELEVATION - NORTH (PART 1)



KEY

WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 DEVELOPMENT APPLICATION 04 MILLS-OAKLEY REVIEW 05 COURT SUBMISSION - WITHOUT PREJUDICE

06 CONSULTANT REPORT ISSUE

07 CONSULTANT REPORT UPDATE

08 CONSULTANT REPORT UPDATE 09 FACADE UPDATES 10 MILLS OAKLEY REVIEW 11 S34 SUBMISSION 12 DEVELOPMENT APPLICATION > 13 DEVELOPMENT APPLICATION PM 05.09.2022

AR 08.09.2022

AR 15.09.2022 PM 19.09.2022 AV 13.02.2023

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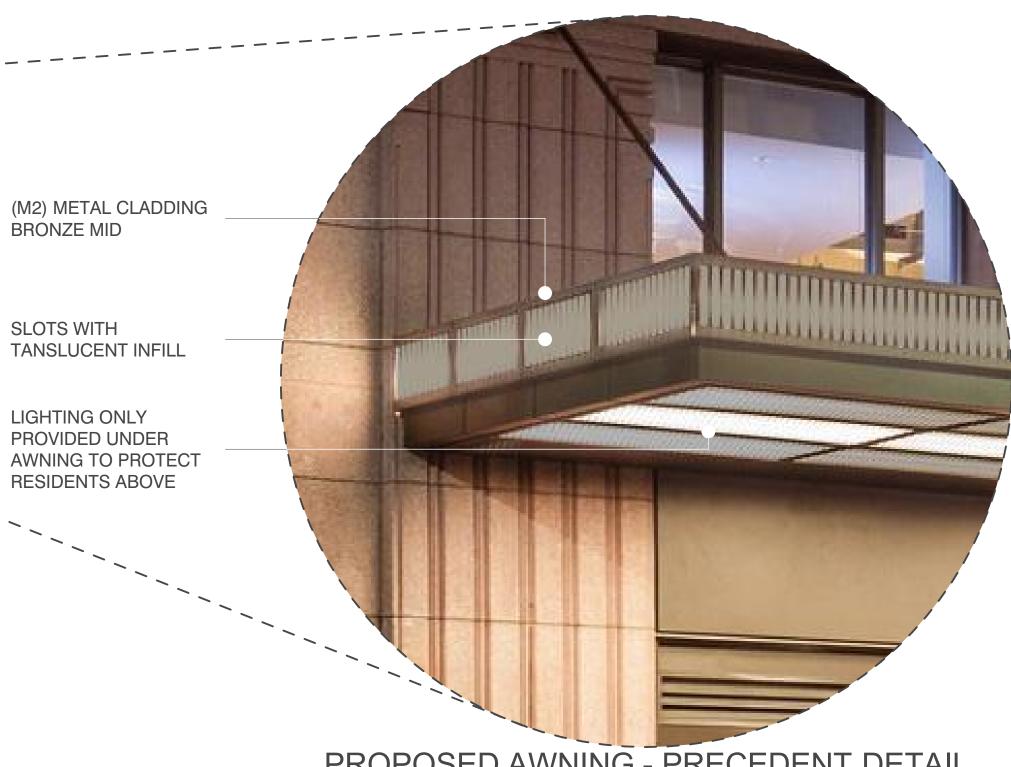
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PROPOSED AWNING - PRECEDENT DETAIL

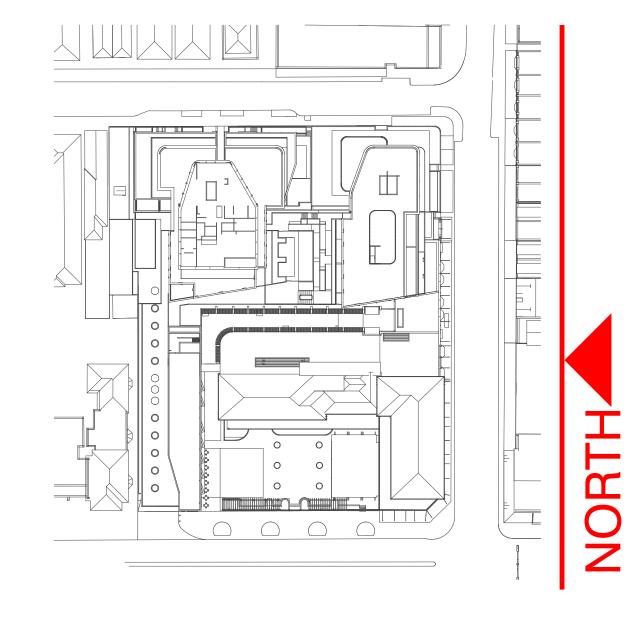


MATERIALS LEGEND

- **BR1** BRICK COLOUR MEDIUM BR2 - BRICK COLOUR LIGHT **BR3** - REINSTATED HERITAGE BRICK
- **CF1** CONCRETE NATURAL GREY G1 - GLASS CLEAR
- **G2** TRANSLUCENT GLASS (NO POST APPLIED FILM) GS1 - ACOUSTIC GLASS SCRÉEN
- LV1 METAL CLAD SHADING LOUVRE (COLOUR REF TYPICAL LOUVRE DET.) M1 - METAL CLAD BRONZE DARK
- M2 METAL CLAD BRONZE MID M3 - METAL CLAD GREY
- M4 METAL CLAD ZINC GREY PT1 - OFF-WHITE PAINT LIGHT
- PT2 OFF-WHITE PAINT DARK PT3 - BRONZE PAINT
- PT4 GREY PAINT **ST1** - STONE COLOUR LIGHT TW1 - GLAZED TILE

DRAWING TITLE

ELEVATION - NORTH (PART 2)



KEY

BIMCIOUS GALET DITTO BIMCIOUD/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION > 02 DEVELOPMENT APPLICATION

AV 13.02.2023 MY 17.06.0021

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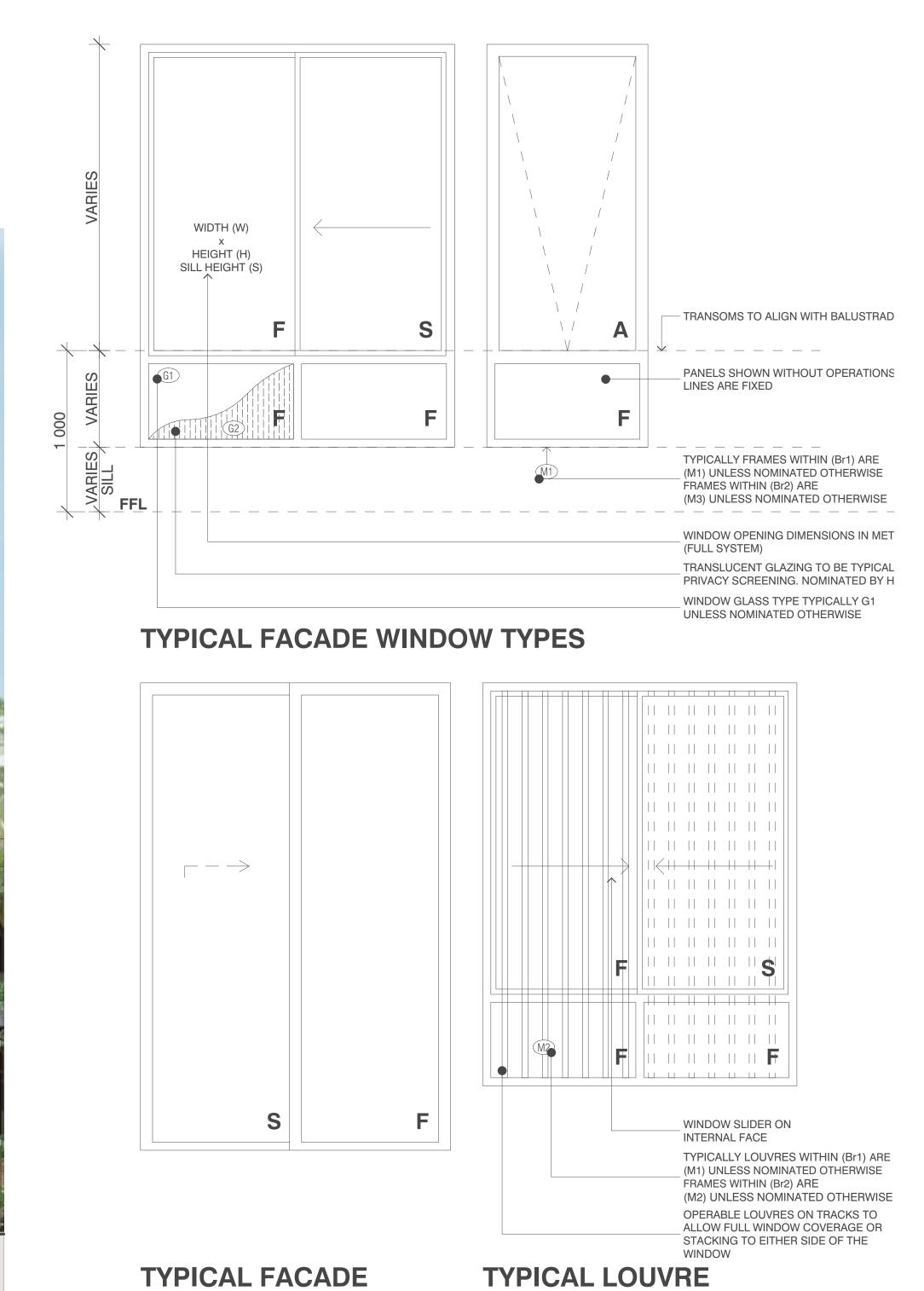
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DETAIL



MATERIALS LEGEND BR1 - BRICK COLOUR MEDIUM

BR2 - BRICK COLOUR LIGHT **BR3** - REINSTATED HERITAGE BRICK ROOF LEVEL RL31.15 CF1 - CONCRETE NATURAL GREY **G1** - GLASS CLEAR **G2** - TRANSLUCENT GLASS

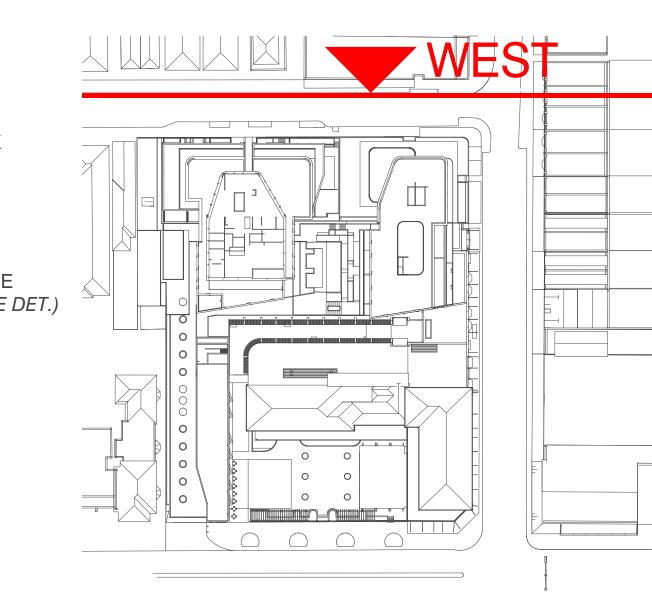
DOOR TYPES

(NO POST APPLIED FILM) LEVEL 5 RL 27.60 GS1 - ACOUSTIC GLASS SCREEN LV1 - METAL CLAD SHADING LOUVRE

(COLOUR REF TYPICAL LOUVRE DET.) M1 - METAL CLAD BRONZE DARK M2 - METAL CLAD BRONZE MID M3 - METAL CLAD GREY

M4 - METAL CLAD ZINC GREY PT1 - OFF-WHITE PAINT LIGHT PT2 - OFF-WHITE PAINT DARK PT3 - BRONZE PAINT EVEL 2 RL 18.30 PT4 - GREY PAINT

ST1 - STONE COLOUR LIGHT TW1 - GLAZED TILE



KEY

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- SCALE 1:75@A0

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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 DEVELOPMENT APPLICATION 04 MILLS-OAKLEY REVIEW 05 COURT SUBMISSION - WITHOUT PREJUDICE

06 CONSULTANT REPORT ISSUE

07 CONSULTANT REPORT UPDATE

PM 05.09.2022

AR 08.09.2022

08 CONSULTANT REPORT UPDATE

12 DEVELOPMENT APPLICATION

➤ 13 DEVELOPMENT APPLICATION

09 FACADE UPDATES

10 MILLS OAKLEY REVIEW

11 S34 SUBMISSION

MY 17.06.0021

AR 15.09.2022 PM 19.09.2022 AV 13.02.2023

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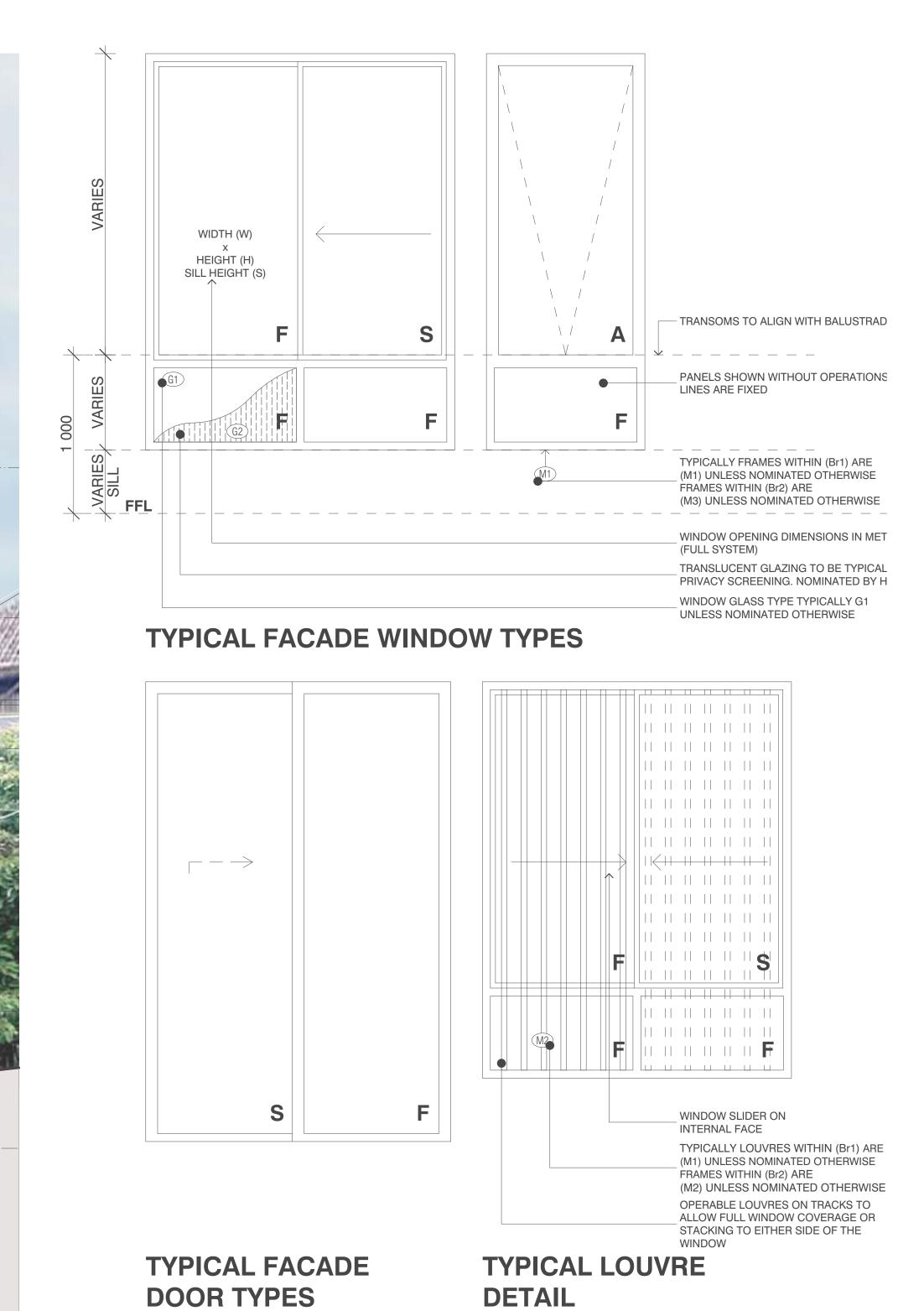
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ELEVATION - WEST (PART 1)

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MATERIALS LEGEND BR1 - BRICK COLOUR MEDIUM **BR2** - BRICK COLOUR LIGHT **BR3** - REINSTATED HERITAGE BRICK **CF1** - CONCRETE NATURAL GREY **G1** - GLASS CLEAR **G2** - TRANSLUCENT GLASS (NO POST APPLIED FILM) **GS1** - ACOUSTIC GLASS SCREEN LV1 - METAL CLAD SHADING LOUVRE (COLOUR REF TYPICAL LOUVRE DET.) M1 - METAL CLAD BRONZE DARK M2 - METAL CLAD BRONZE MID M3 - METAL CLAD GREY M4 - METAL CLAD ZINC GREY PT1 - OFF-WHITE PAINT LIGHT PT2 - OFF-WHITE PAINT DARK PT3 - BRONZE PAINT PT4 - GREY PAINT **ST1** - STONE COLOUR LIGHT

KEY

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SCALE 1:75@A0

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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION > 02 DEVELOPMENT APPLICATION

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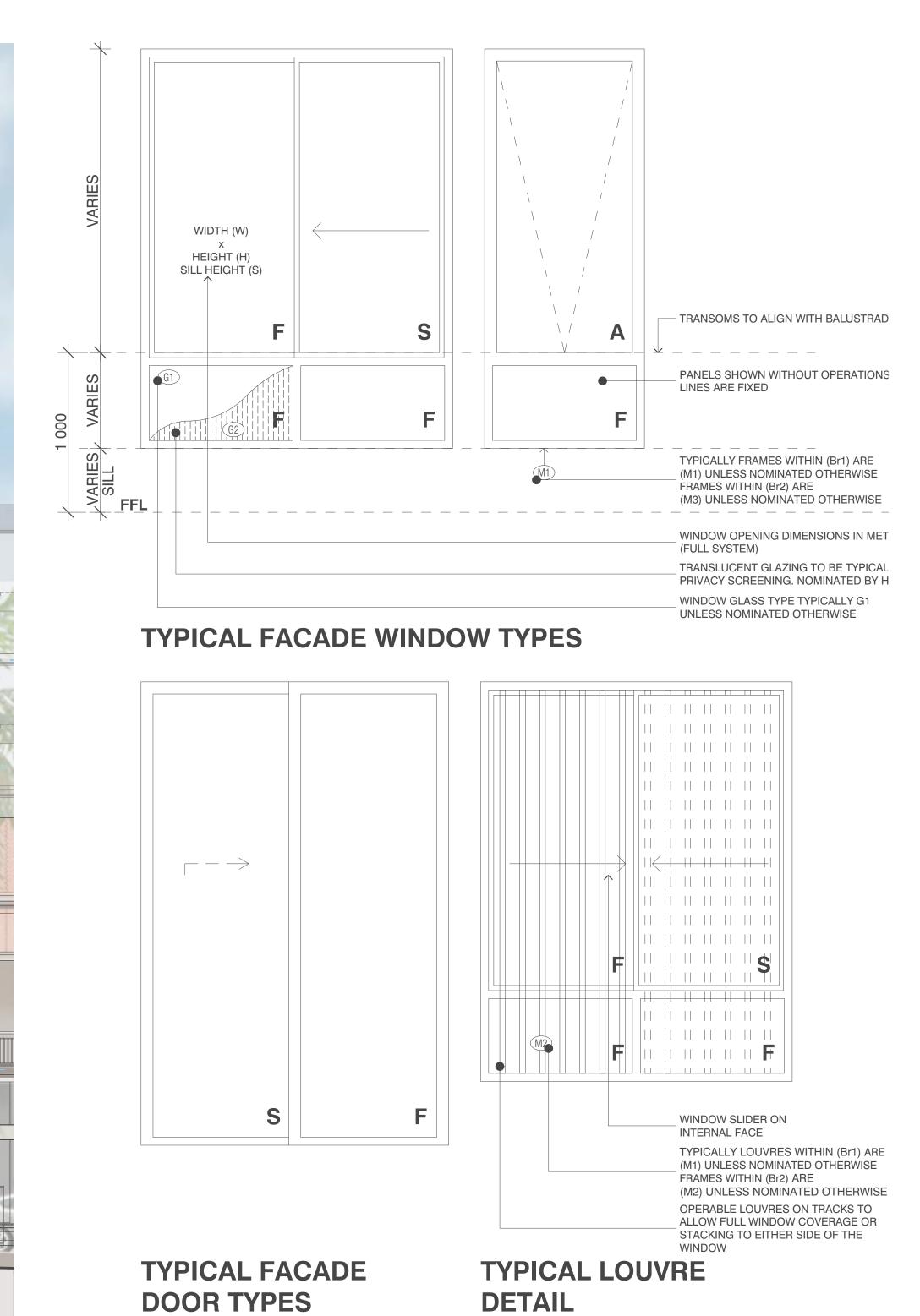
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TW1 - GLAZED TILE







MATERIALS LEGEND

BR1 - BRICK COLOUR MEDIUM

BR2 - BRICK COLOUR LIGHT **BR3** - REINSTATED HERITAGE BRICK

CF1 - CONCRETE NATURAL GREY

G1 - GLASS CLEAR **G2** - TRANSLUCENT GLASS

(NO POST APPLIED FILM)

GS1 - ACOUSTIC GLASS SCRÉEN LV1 - METAL CLAD SHADING LOUVRE

(COLOUR REF TYPICAL LOUVRE DET.) M1 - METAL CLAD BRONZE DARK

M2 - METAL CLAD BRONZE MID

M3 - METAL CLAD GREY

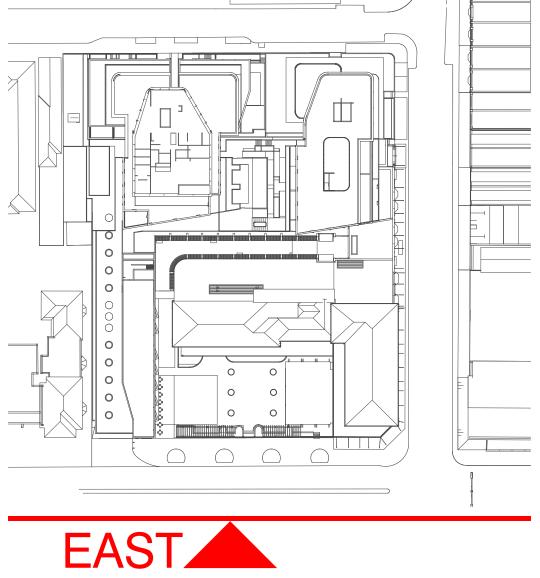
M4 - METAL CLAD ZINC GREY

PT1 - OFF-WHITE PAINT LIGHT

PT2 - OFF-WHITE PAINT DARK **PT3** - BRONZE PAINT

PT4 - GREY PAINT

ST1 - STONE COLOUR LIGHT TW1 - GLAZED TILE



KEY

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DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 DEVELOPMENT APPLICATION 04 DEVELOPMENT APPLICATION 05 MILLS-OAKLEY REVIEW

07 CONSULTANT REPORT ISSUE

06 COURT SUBMISSION - WITHOUT PREJUDICE

08 CONSULTANT REPORT UPDATE 09 CONSULTANT REPORT UPDATE 10 FACADE UPDATES 11 MILLS OAKLEY REVIEW 12 S34 SUBMISSION 13 DEVELOPMENT APPLICATION > 14 DEVELOPMENT APPLICATION AV 11.05.2022 PM 05.09.2022

AR 08.09.2022 PM 13.09.2022 AR 15.09.2022 PM 19.09.2022 AV 13.02.2023 MY 17.06.0021

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DEVELOPMENT APPLICATION

01 DEVELOPMENT APPLICATION

> 02 DEVELOPMENT APPLICATION

AV 13.02.2023

MY 17.06.0021

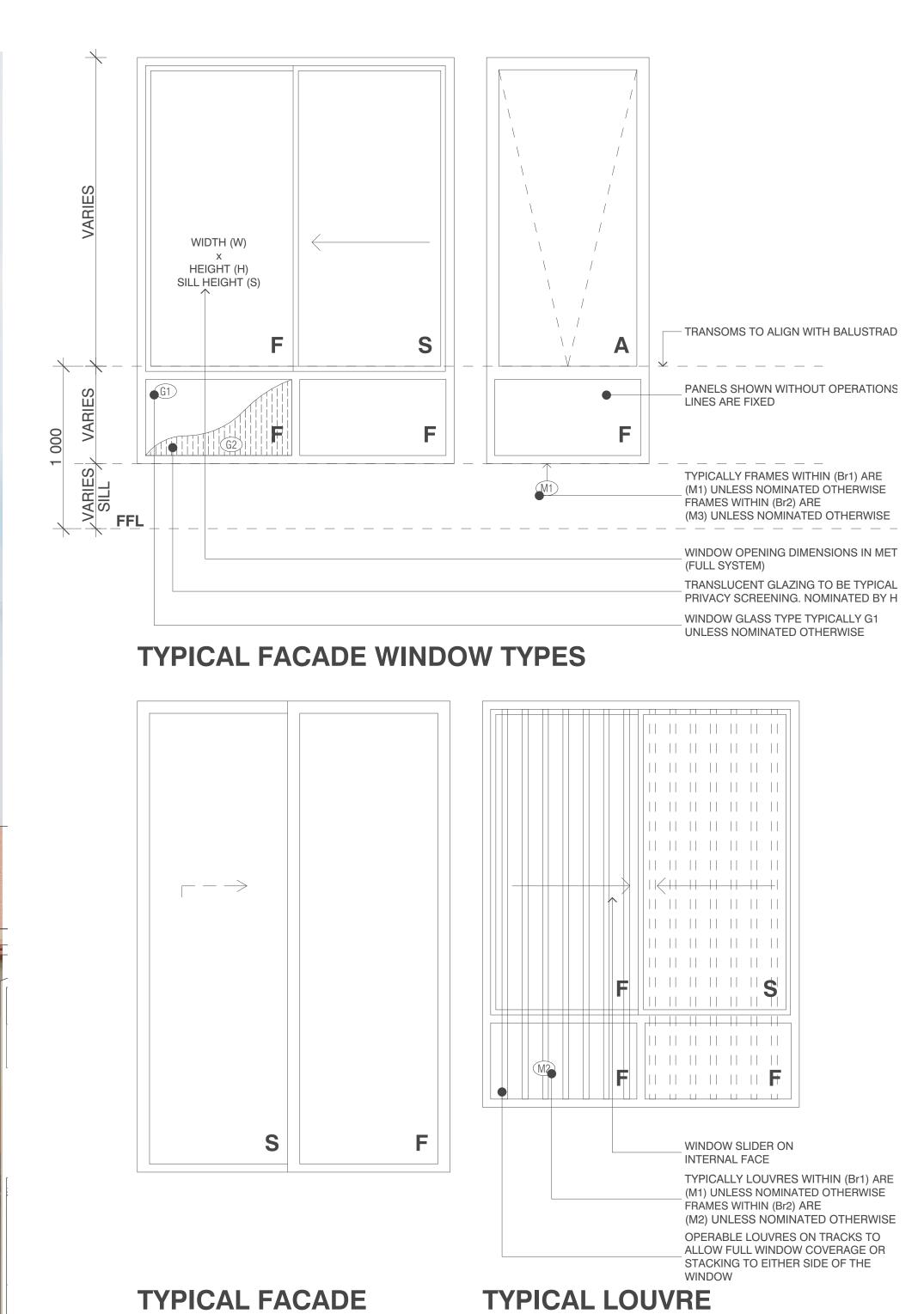
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DETAIL

FENDER KATSALIDIS

L21, 259 GEORGE STREET, SYDNEY

TELEPHONE: +61 2 8216 3500

NEW SOUTH WALES 2000 AUSTRALIA

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 03

DEVELOPMENT APPLICATION

WWW.FKAUSTRALIA.COM

ISSUE PURPOSE

DOOR TYPES

DRAWING TITLE

ELEVATION - EAST (PART 2)



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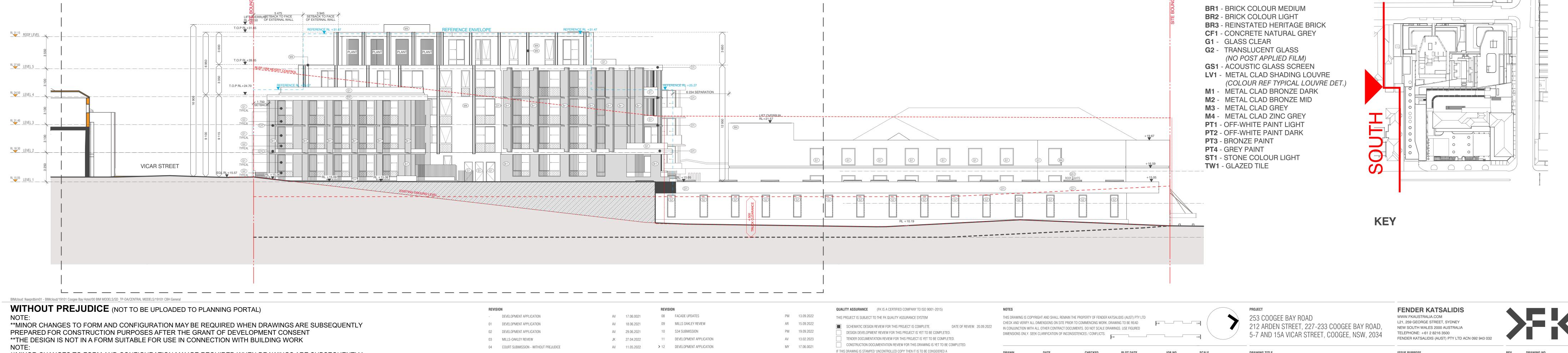
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05 CONSULTANT REPORT ISSUE

06 CONSULTANT REPORT UPDATE

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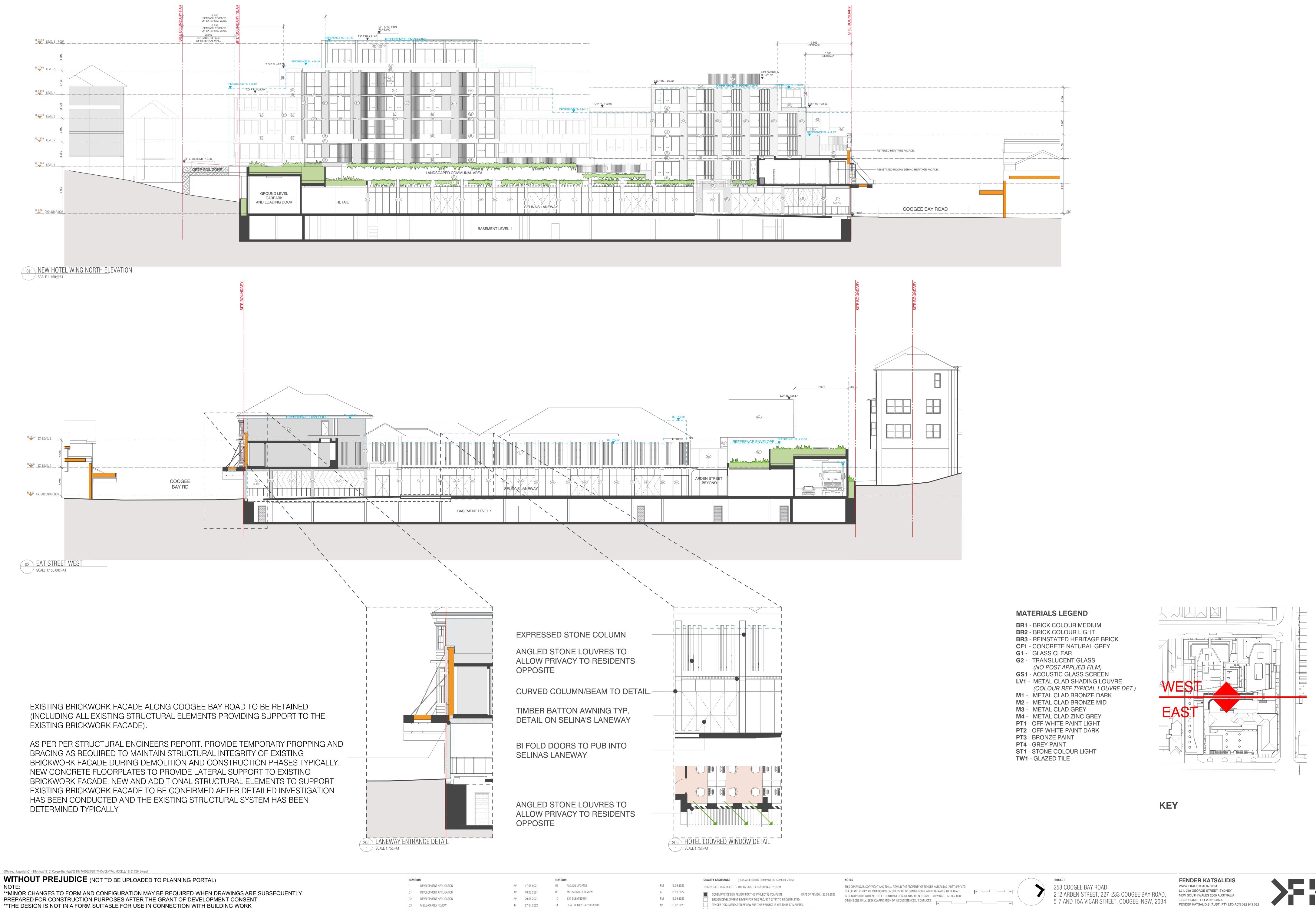
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DRAWING TITLE

ELEVATION - SOUTH

ISSUE PURPOSE

DEVELOPMENT APPLICATION



➤ 12 DEVELOPMENT APPLICATION

PM 05.09.2022

AR 08.09.2022

AR 09.09.2022

04 COURT SUBMISSION - WITHOUT PREJUDICE

05 CONSULTANT REPORT ISSUE

06 CONSULTANT REPORT UPDATE

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ISSUE PURPOSE

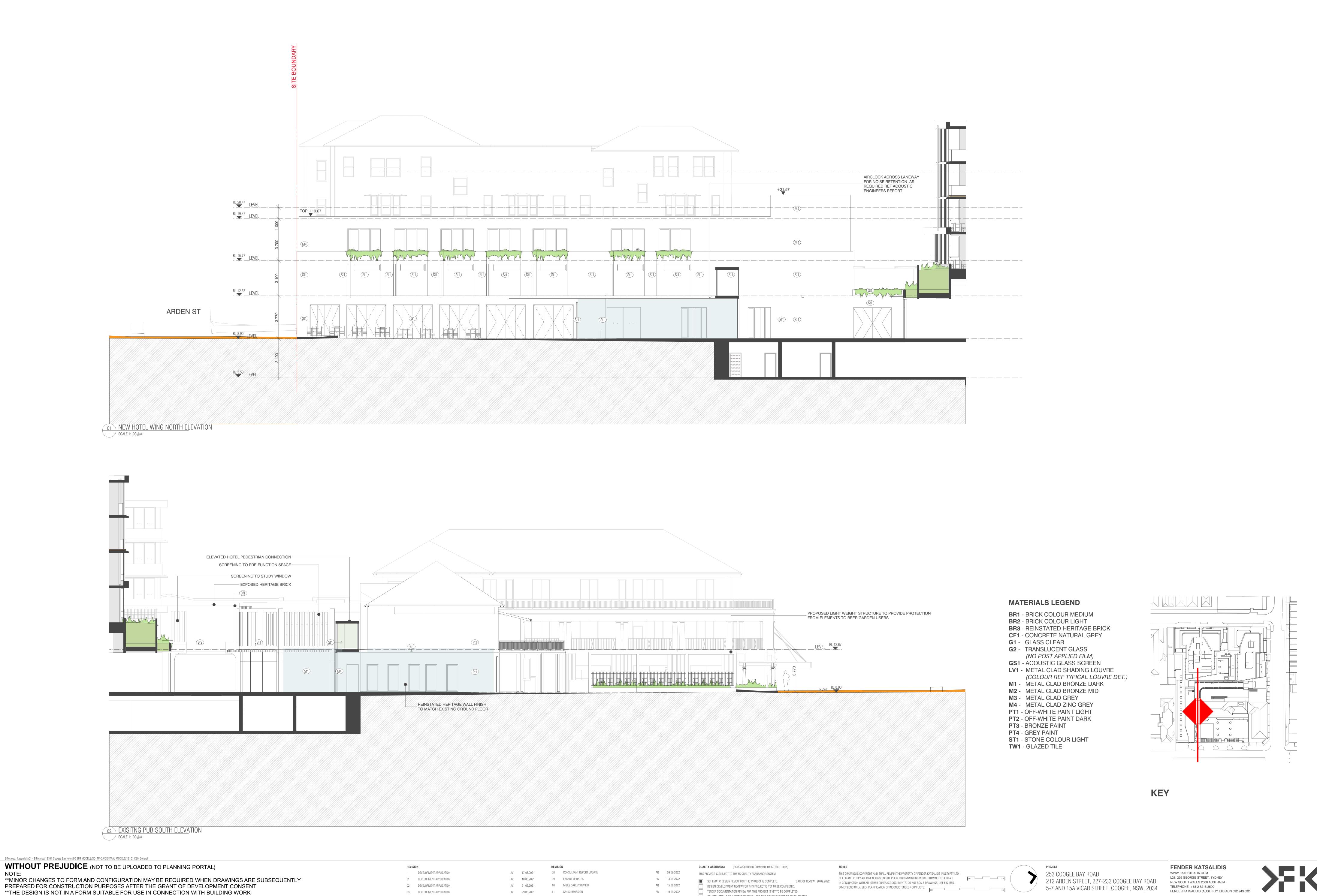
DEVELOPMENT APPLICATION

DRAWING TITLE

ELEVATION - SELINAS LANEWAY N/S

CHECKED

17.06.0021 PM



TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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PM 19.09.2022

NZ 13.02.2023

MY 17.06.0021

03 DEVELOPMENT APPLICATION

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05 COURT SUBMISSION - WITHOUT PREJUDICE

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11 S34 SUBMISSION

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12 DEVELOPMENT APPLICATION

> 13 DEVELOPMENT APPLICATION

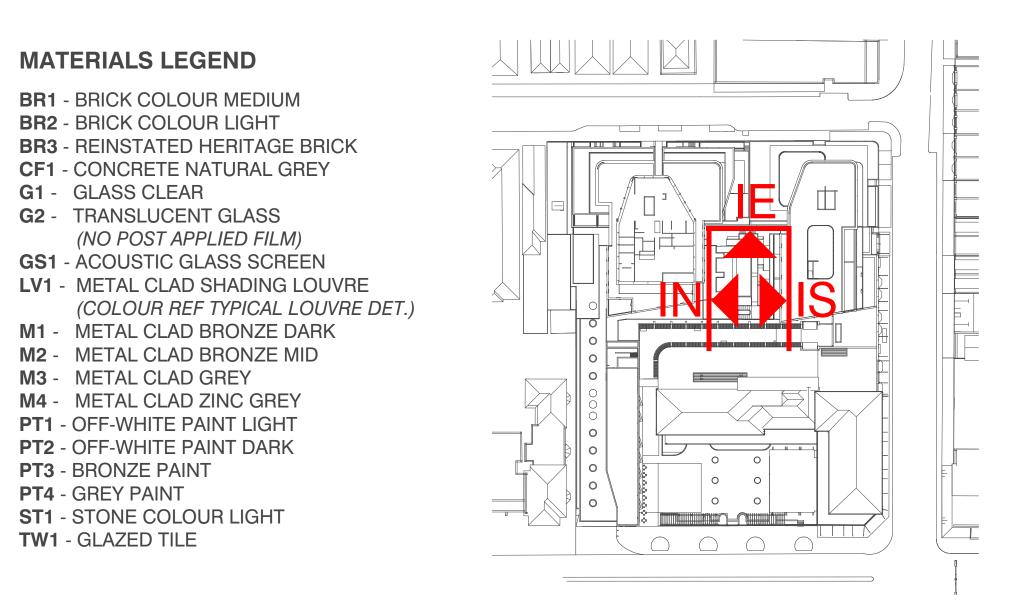
ISSUE PURPOSE

DEVELOPMENT APPLICATION

DRAWING TITLE

ELEVATION - SELINAS LANEWAY E/W





KEY

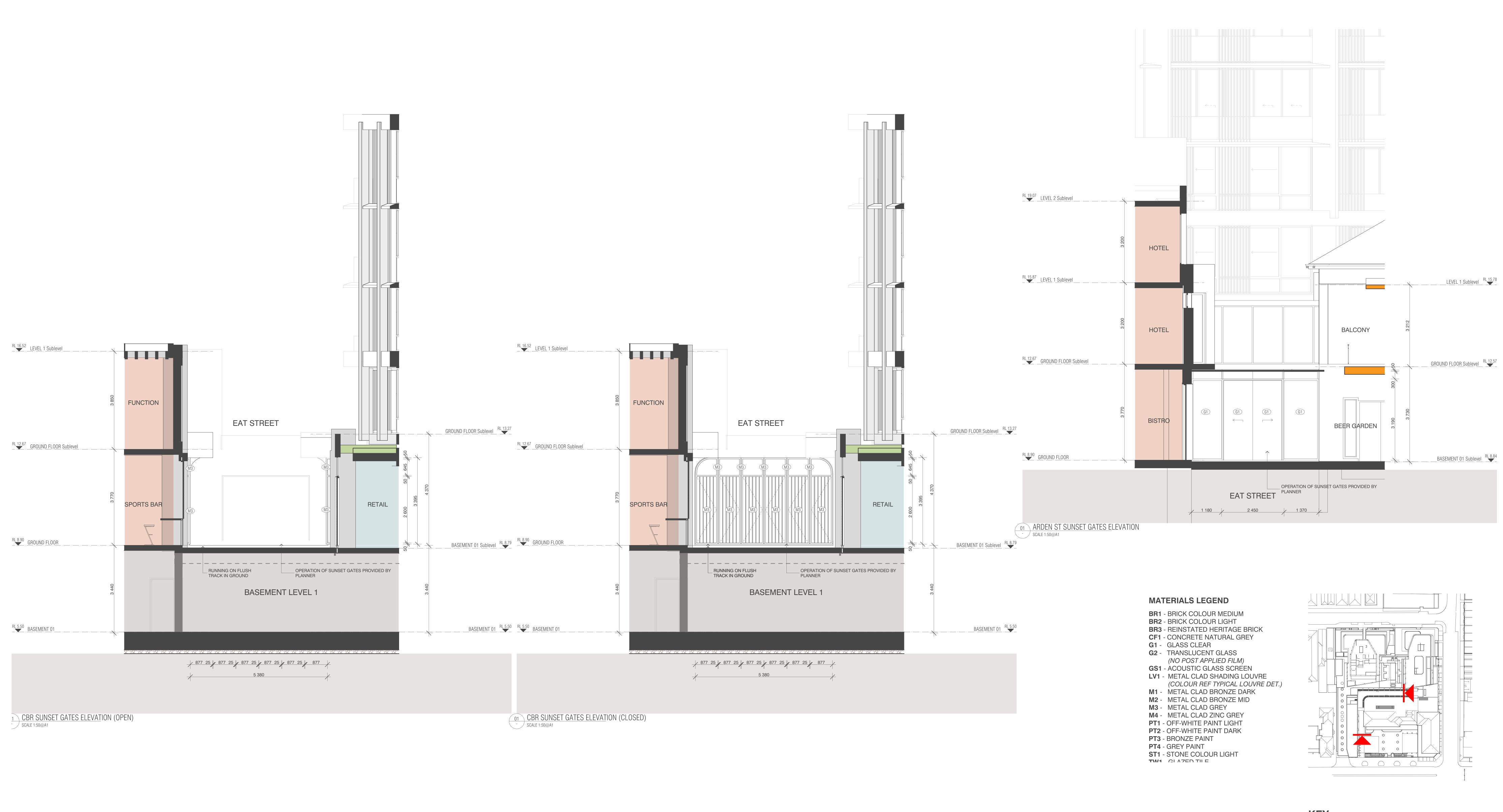
PT4 - GREY PAINT

BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL) **FENDER KATSALIDIS** REVISION QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001-2015) 08 S34 SUBMISSION PM 19.09.2022 DEVELOPMENT APPLICATION AV 17.06.0021 WWW.FKAUSTRALIA.COM THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF FENDER KATSALIDIS (AUST) PTY LTD L21, 259 GEORGE STREET, SYDNEY CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. DRAWING TO BE READ **MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY 09 DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION AV 18.06.2021 SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 20.09.2022 IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED NEW SOUTH WALES 2000 AUSTRALIA PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT 02 DEVELOPMENT APPLICATION JK 29.06.2021 > 10 DEVELOPMENT APPLICATION DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. TELEPHONE: +61 2 8216 3500 DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCES / CONFLICTS. FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032 TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED. **THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK 03 CONSULTANT REPORT ISSUE PM 05.09.2022 CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED. 04 CONSULTANT REPORT UPDATE AR 08.09.2022 IF THIS DRAWING IS STAMPED 'UNCONTROLLED COPY' THEN IT IS TO BE CONSIDERED A DRAWING TITLE ISSUE PURPOSE JOB NO. **MINOR CHANGES TO FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY 05 CONSULTANT REPORT UPDATE AR 09.09.2022 DRAFT, SUBJECT TO REVISION WITHOUT NOTICE ELEVATION INTERNAL DEVELOPMENT APPLICATION PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT 06 FACADE UPDATES PM 13.09.2022

AR 15.09.2022

07 MILLS OAKLEY REVIEW

**THE DESIGN IS NOT IN A FORM SUITABLE FOR USE IN CONNECTION WITH BUILDING WORK



KEY

PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

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WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

DEVELOPMENT APPLICATION MY 17.06.0021

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001-2015)

THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS COMPLETE. DATE OF REVIEW: 20.09.20

DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.

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DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCES / CONFLICTS.

253 COOGEE BAY ROAD 212 ARDEN STREET, 227-233 COOGEE BAY ROAD, 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

DRAWING TITLE

SUNSET GATES ELEVATIONS

FENDER KATSALIDIS

WWW.FKAUSTRALIA.COM

L21, 259 GEORGE STREET, SYDNEY

NEW SOUTH WALES 2000 AUSTRALIA

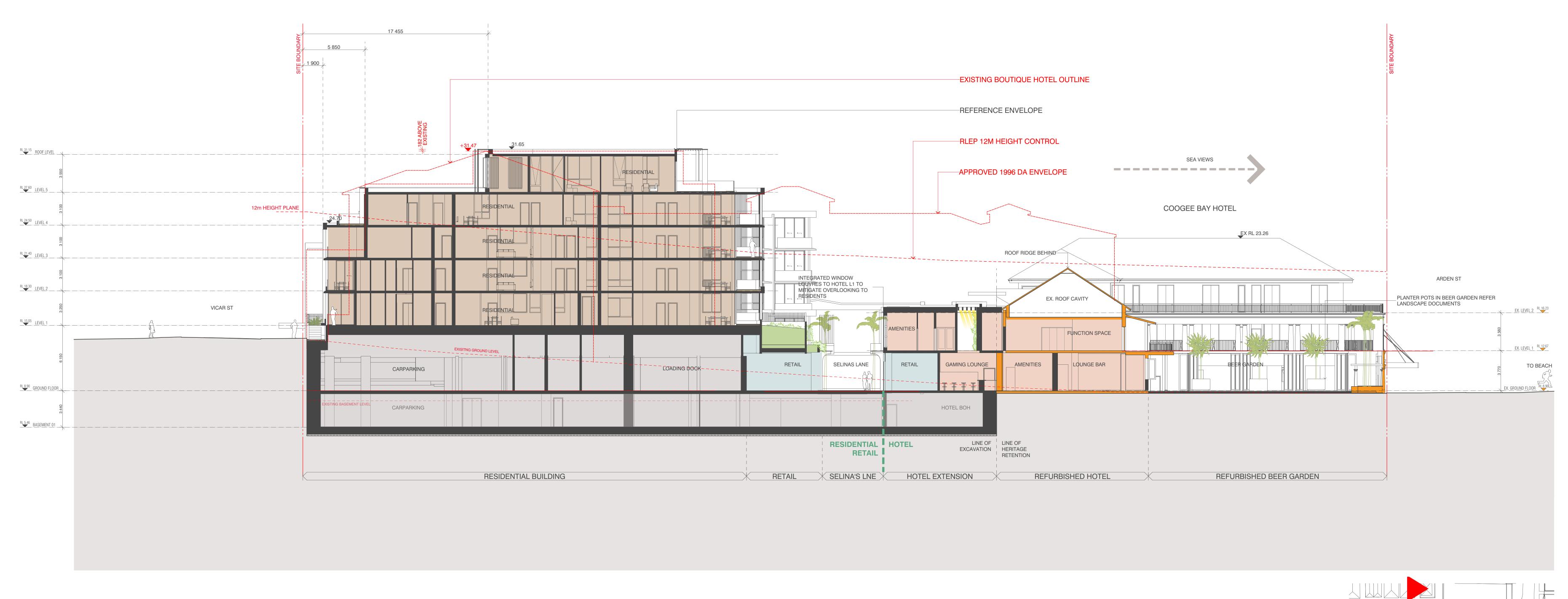
TELEPHONE: +61 2 8216 3500

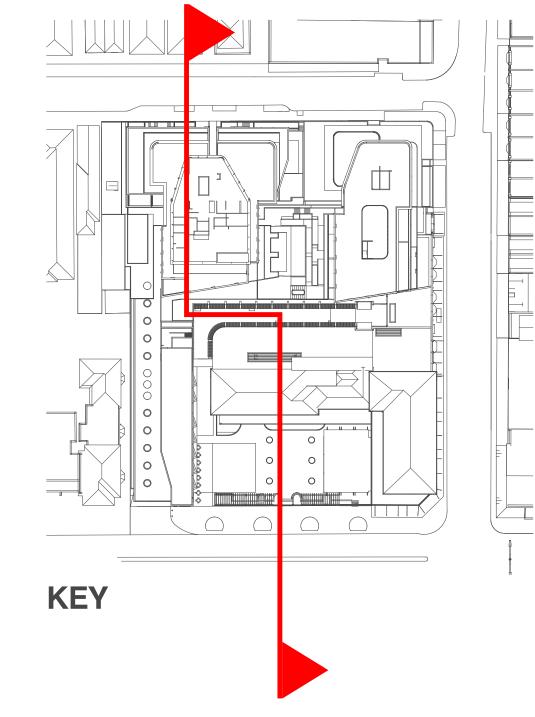
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

DEVELOPMENT APPLICATION

ISSUE PURPOSE

3 032





WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)
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REVISION

DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

MILLS-OAKLEY REVIEW

COURT SUBMISSION - WITHOUT PREJUDICE

CONSULTANT REPORT ISSUE

07 CONSULTANT REPORT UPDATE

AV 17.06.0021 08 MILLS OAKLEY REVIEW

AV 18.06.2021 09 S34 SUBMISSION

AV 21.06.2021 10 DEVELOPMENT APPLICATION

AV 29.06.2021 11 DEVELOPMENT APPLICATION

IS 27.04.2022 > 12 DEVELOPMENT APPLICATION

AV 11.05.2022

PM 05.09.2022

AR 09.09.2022

AR 15.09.2022
PM 19.09.2022
NZ 13.02.2023
MY 17.06.0021
AV 19.07.2023

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PROJECT
253 COOG
212 ARDE
5-7 AND 1

253 COOGEE BAY ROAD
212 ARDEN STREET, 227-233 COOGEE BAY ROAD,
5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

SECTION AA (VICAR ST)

FENDER KATSALIDIS

WWW.FKAUSTRALIA.COM

L21, 259 GEORGE STREET, SYDNEY

NEW SOUTH WALES 2000 AUSTRALIA

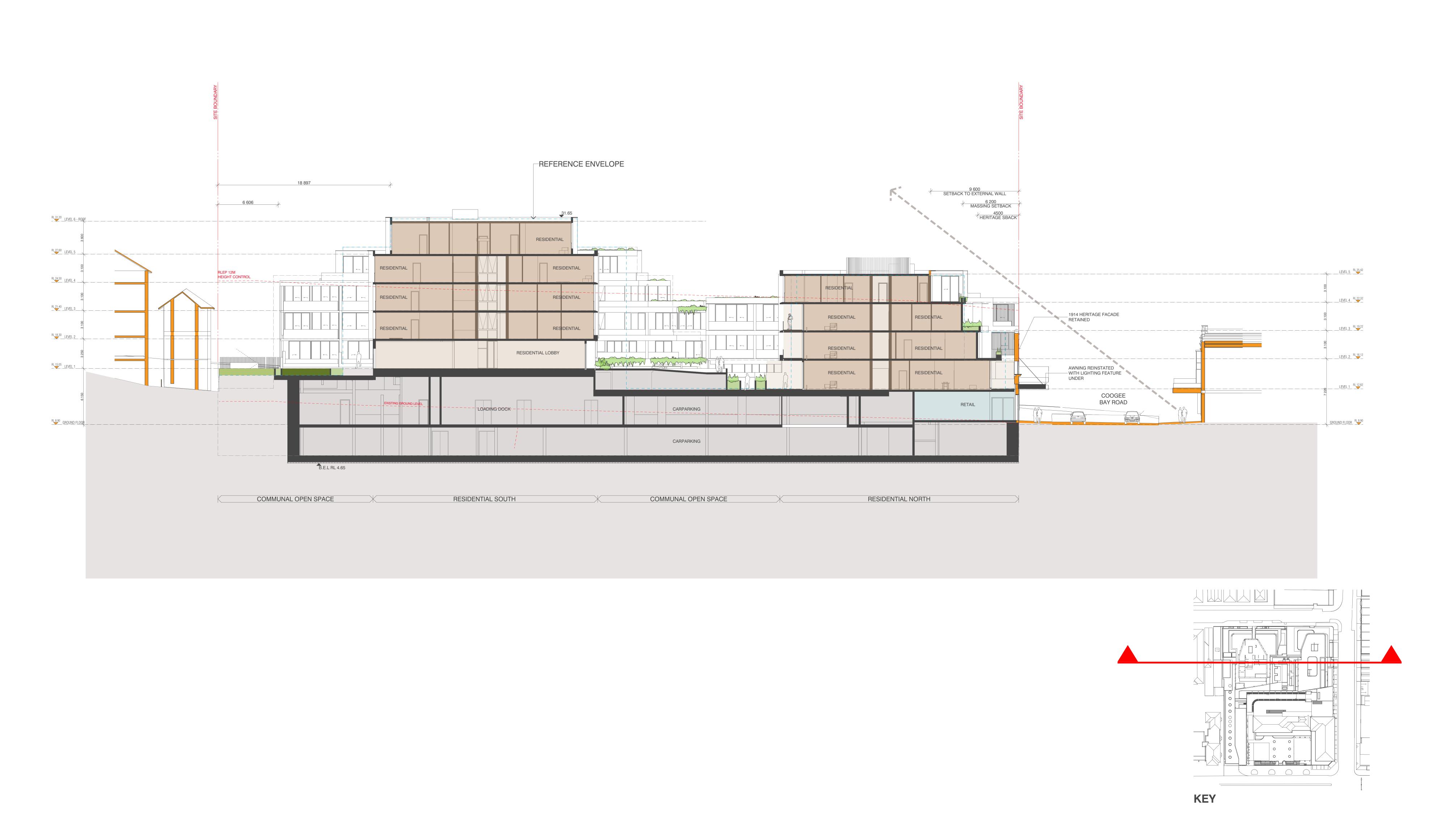
TELEPHONE: +61 2 8216 3500

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

DEVELOPMENT APPLICATION

ISSUE PURPOSE

REV. DRAWING NO.



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05 CONSULTANT REPORT ISSUE

06 CONSULTANT REPORT UPDATE

07 MILLS OAKLEY REVIEW

PM 05.09.2022

AR 09.09.2022

AR 15.09.2022

DRAWING TITLE

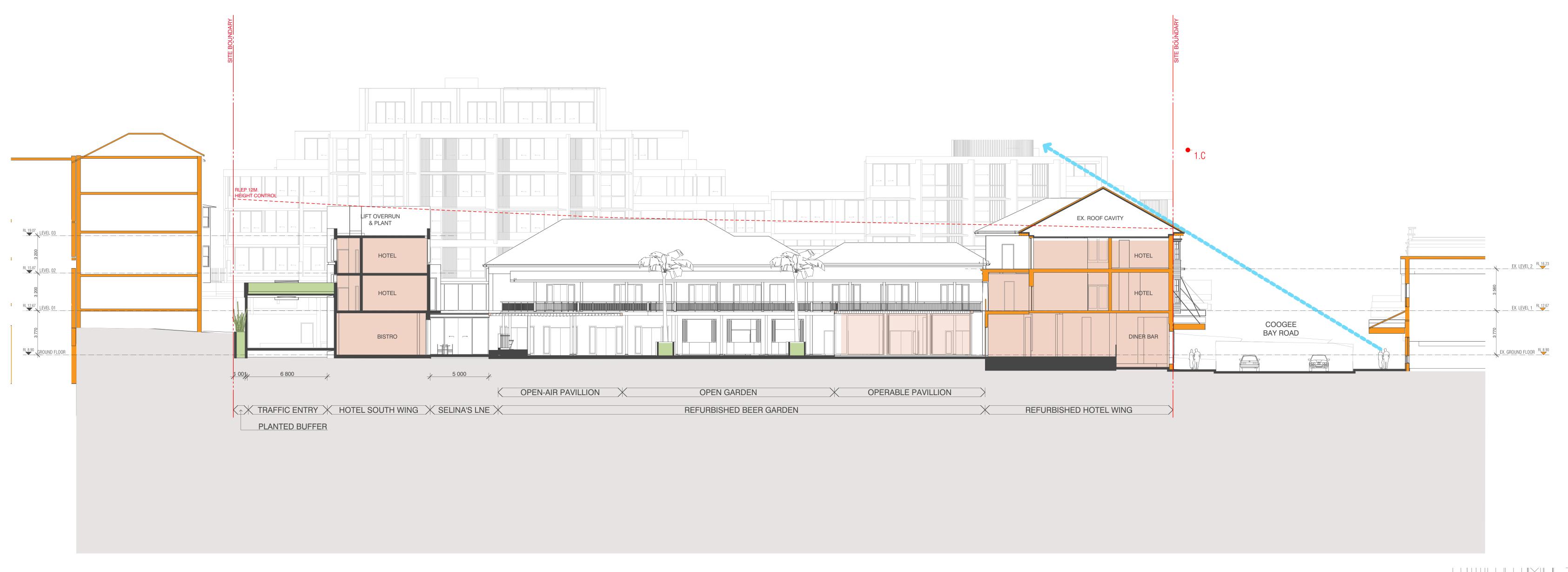
SECTION BB (ARDEN ST)

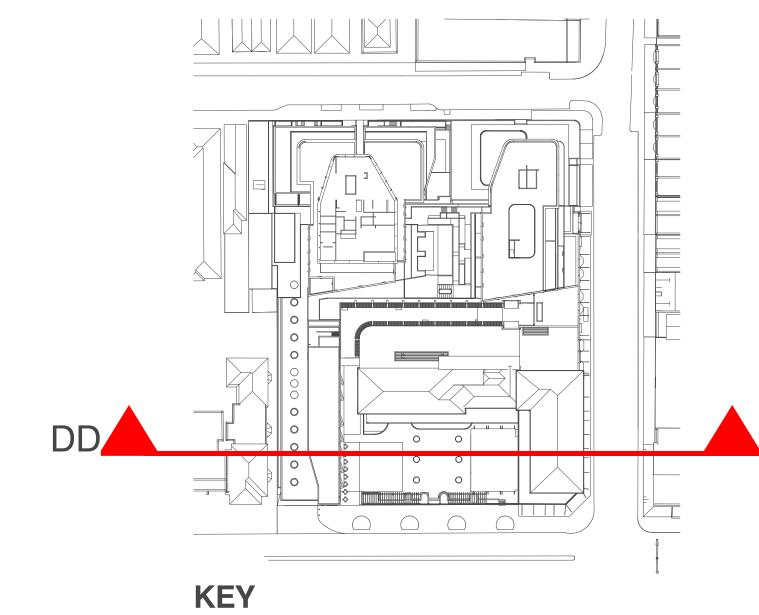
JOB NO.

ISSUE PURPOSE

DEVELOPMENT APPLICATION

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DATE OF REVIEW: 20.09.2022

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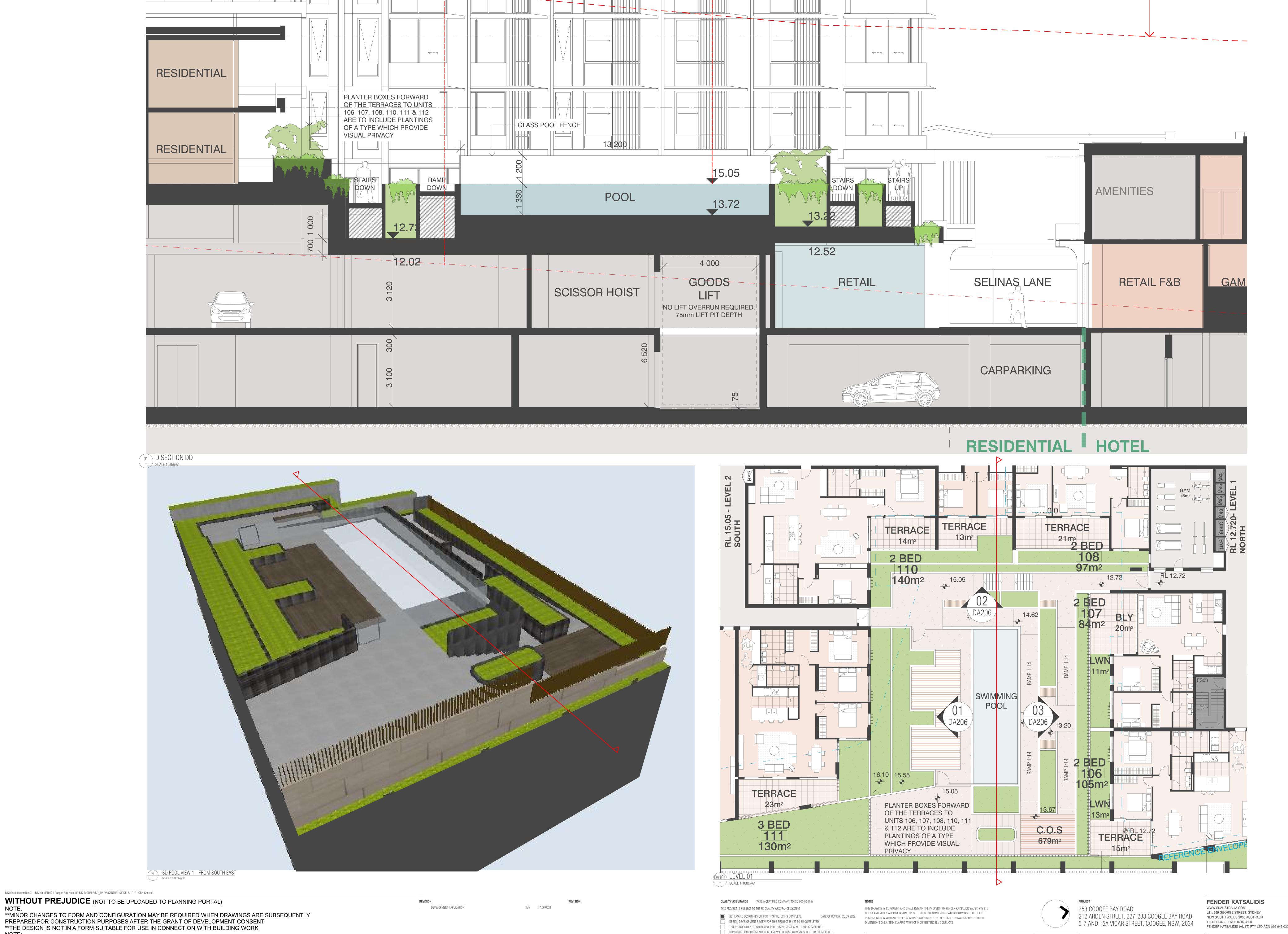
253 COOGEE BAY ROAD

DRAWING TITLE

SECTION CC

FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032





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DRAWING TITLE

SECTION DD (POOL)

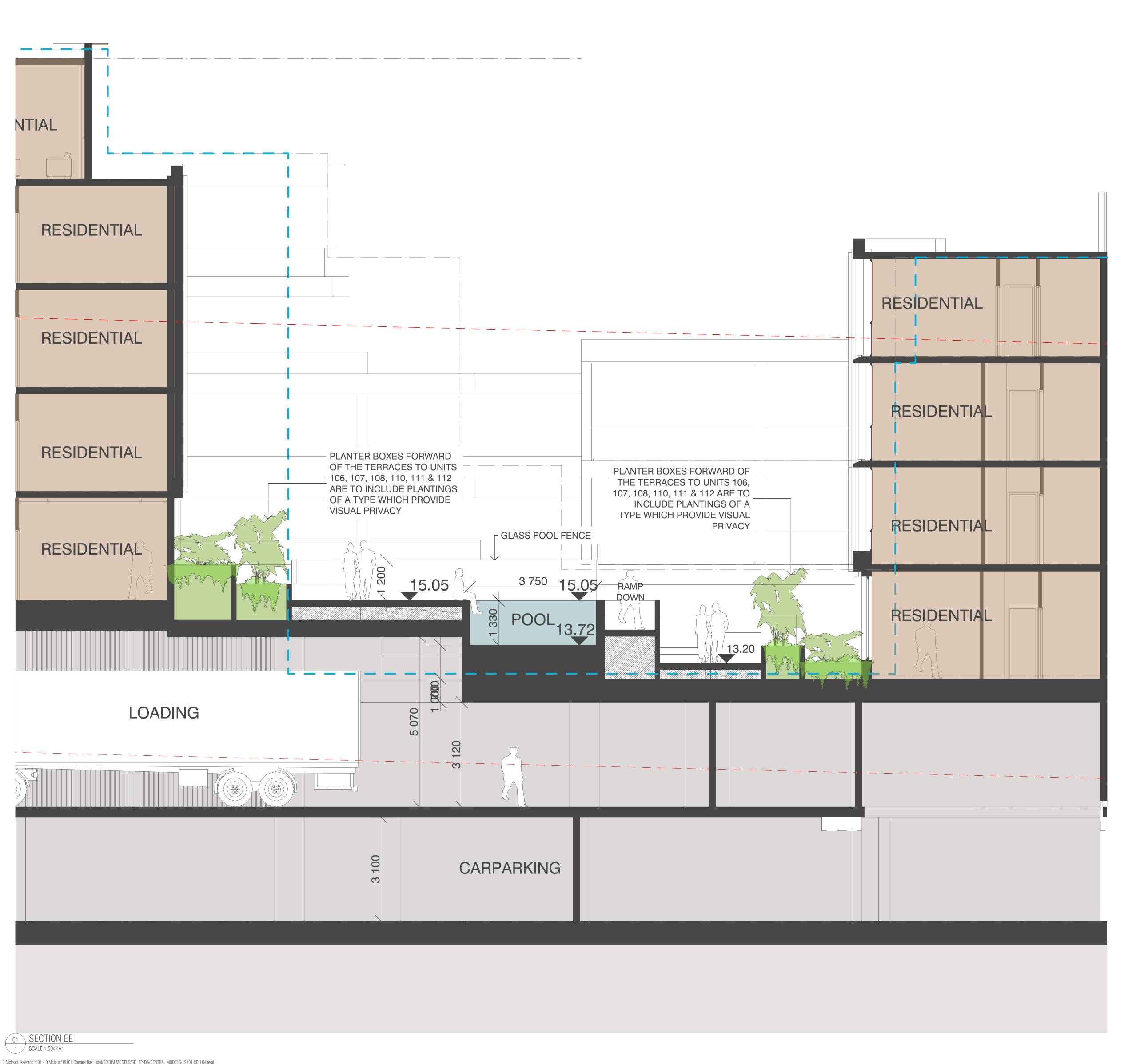
ISSUE PURPOSE

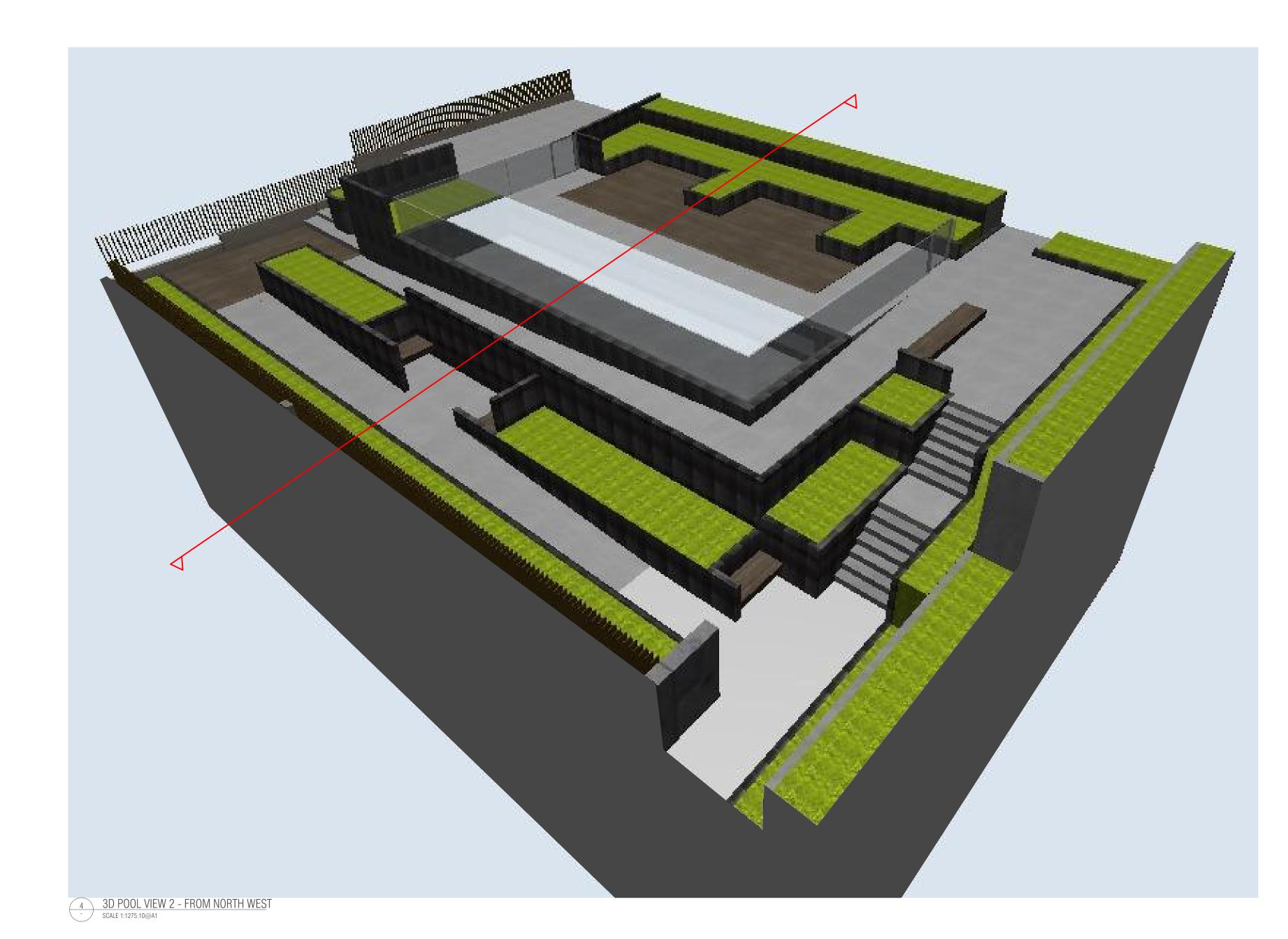
DEVELOPMENT APPLICATION

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TERRACE TERRACE TERRACE 21m² 2 BED 108 97m² 2 BED 110 140m² RL 12.72 SWIMMING 15.05 TERRACE PLANTER BOXES FORWARD OF THE TERRACES TO UNITS 106, 107, 108, 110, 111 3 BED - & 112 ARE TO INCLUDE PLANTINGS OF A TYPE 679m² WHICH PROVIDE VISUAL 130m² KEY PRIVACY DA101 LEVEL 01 SCALE 1:100@A1

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17.06.0021 PM

253 COOGEE BAY ROAD 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

DRAWING TITLE

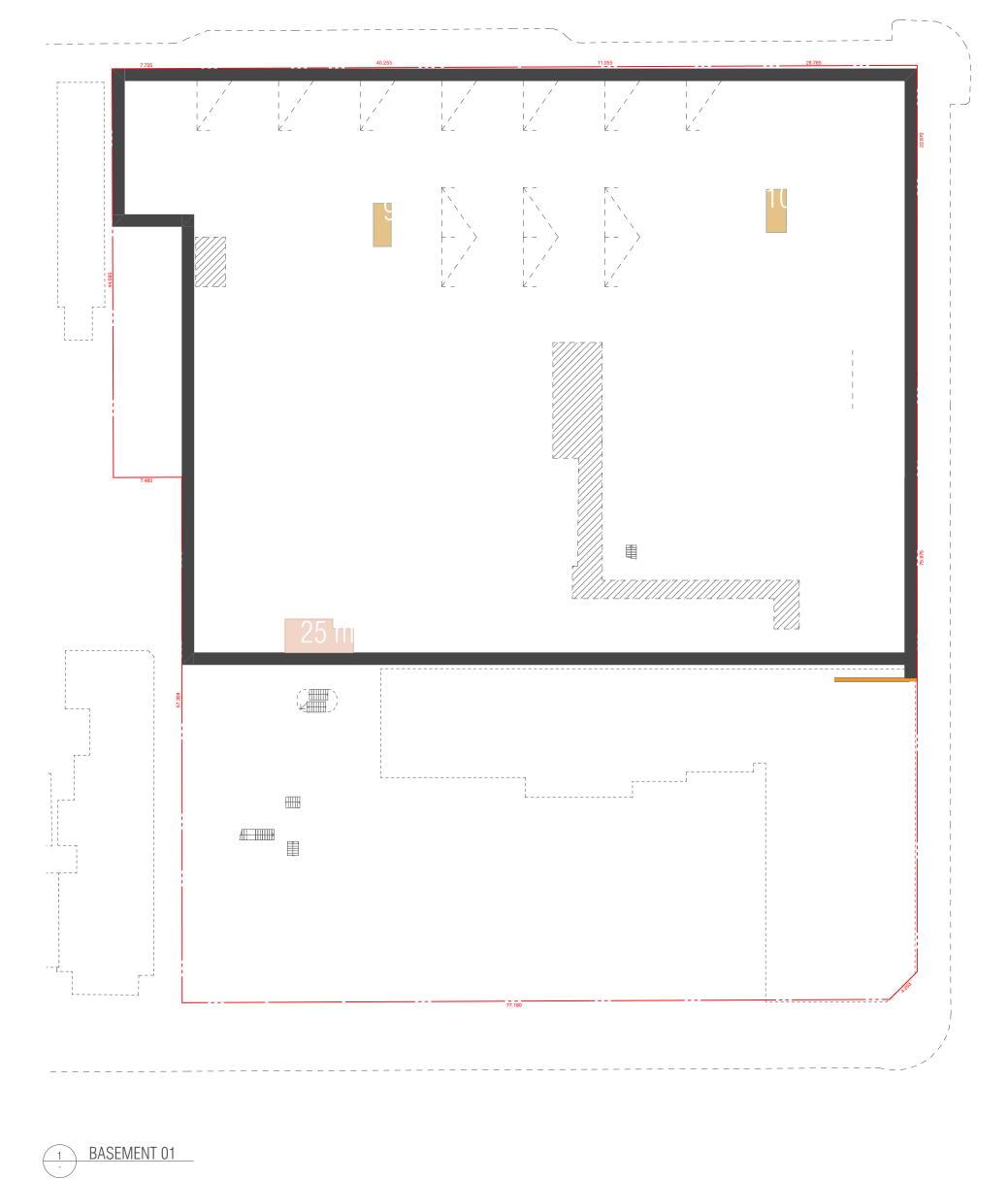
SECTION EE (POOL)

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DEVELOPMENT APPLICATION

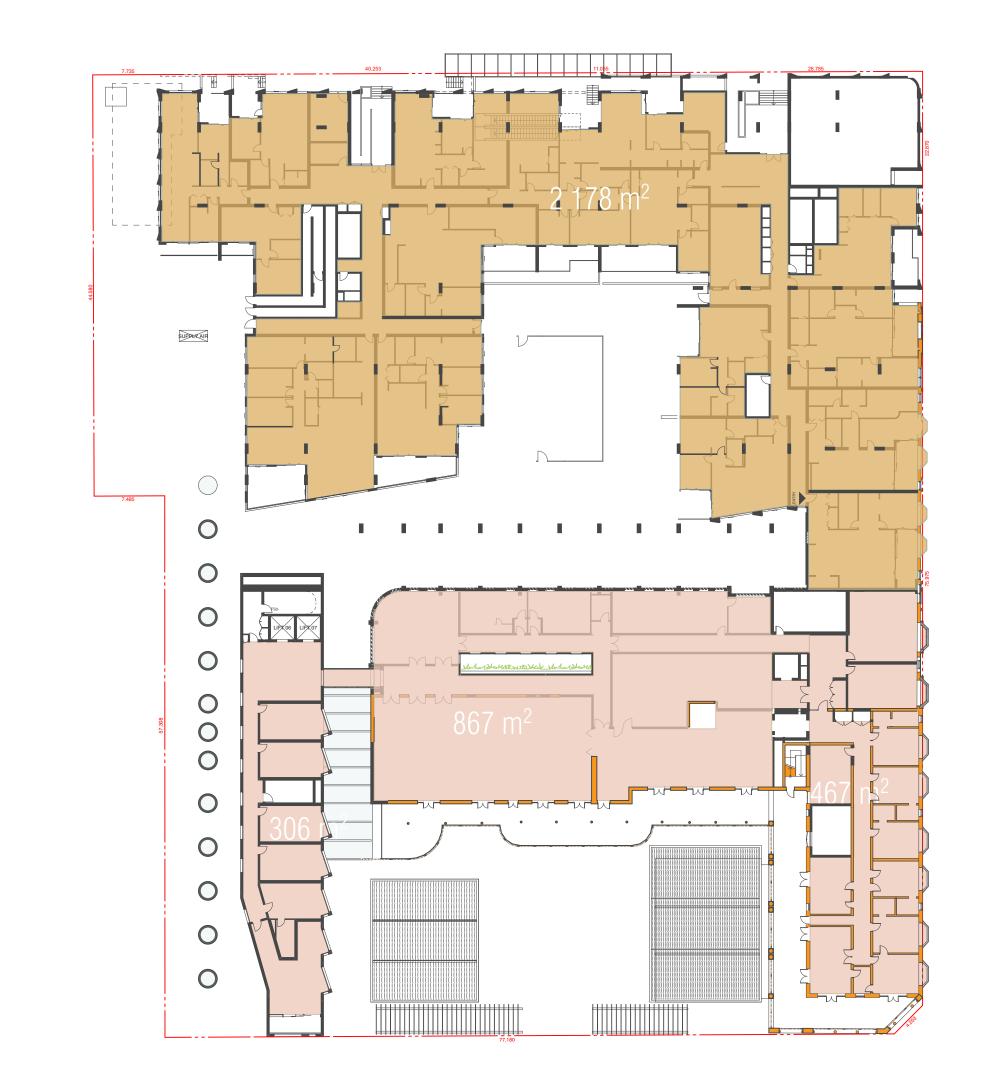
ISSUE PURPOSE

FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

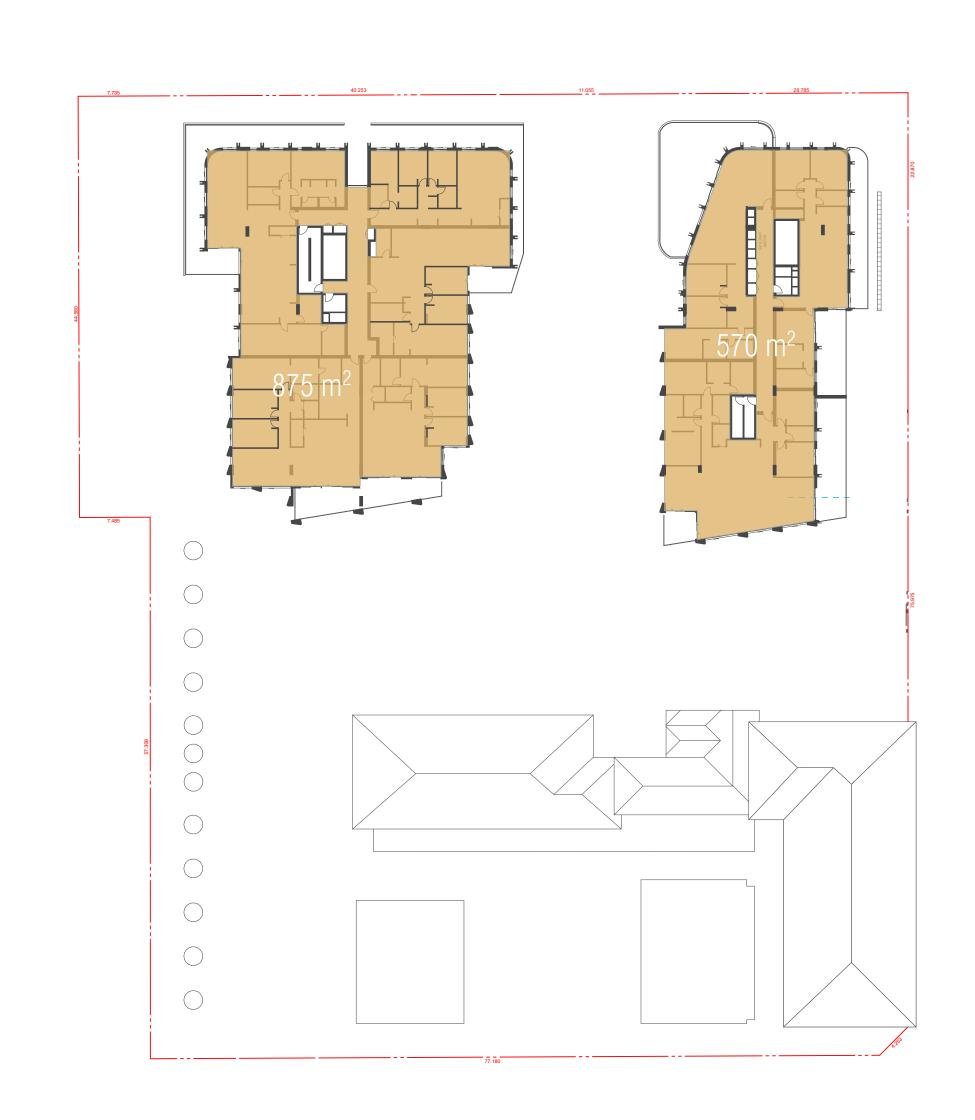


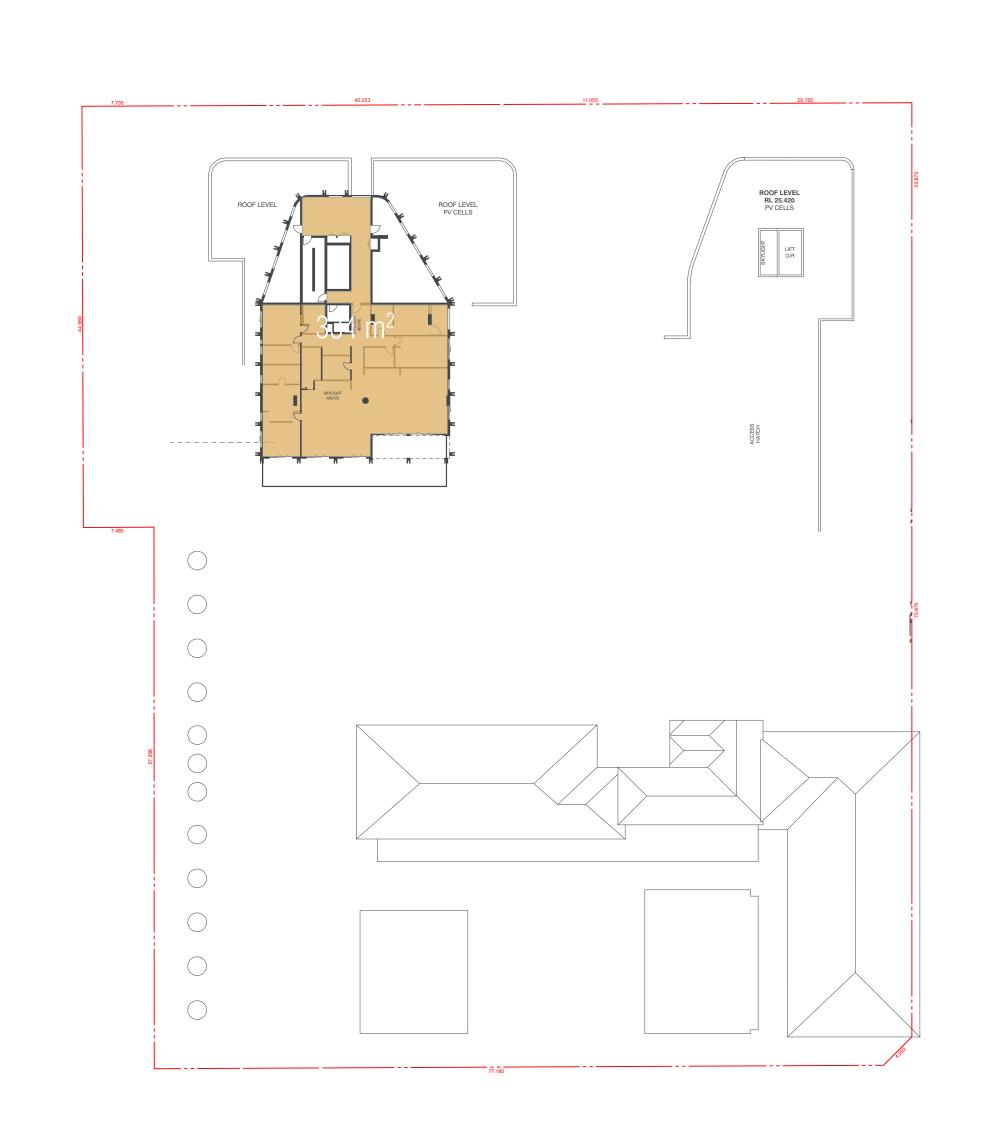


GROUND FLOOR









12751.5 m² Allowable GFA (m²) Residential development Hotel development Residential wing & Retail Eat Street Hotel redevelopment + Restaurant addition Pub + Hotel Residential Retail Basement Floor 25 m² 19 m² **Ground Floor** Retail F&B 01 146 m² 24 m² 161 m² 10 m² Retail F&B 02 81 m² 373 Retail F&B 3-5 + WCs 387 m² 293 Retail F&B 06-8 Lounge Bar 356 m² Retail F&B 09 Outdoor Dining 208 m² 315 m² VIP Lounge 98 m² Boutique Bottle Shop 239 m² Sports Bar Retail tennancies 183 m² 34 m² Total 938 m² 2028 m² Level 01 Residential 2176 m² 867 m² Function rooms 467 m² 306 m² 2176 m² 1640 m² Level 02 Residential 2186 m² 287 m² 326 m² 2186 m² 613 m² Level 03 Residential North 968 m² m² 1069 m² Residential South 2037 m² 0 m² Level 04 573 m² Residential North 877 m² Residential South 1450 m² Level 05 336 m² Residential 336 m² 8238 m² Total

4885m2 3616m2

0.388	ROOF LEVEL RL 19.070			
		77.186	0	

4 LEVEL 4

5 LEVEL 5

2 LEVEL 1

Totals Residential development 8238 m² Hotel development Stages Totals 13482 m² Project Totals 730.5 m² Allowable GFA +/-1.59 m² Proposed FSR 5.7% Exceedence with RLEP

Allowance of 1m² per apartment for servicing

3 LEVEL 2

19101 Coogee Bay Hotel

8501 m²

1.5

Site Area Residential lot

Site Area Pub & Hotel

Heritage Hotel Redevelopment

Area Schedule

Site Area (m²)

Allowable FSR (x:1)

Gross Floor area definition under Randwick LEP. gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes—

(a) the area of a mezzanine, and

(b) habitable rooms in a basement or an attic, and (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes—

(d) any area for common vertical circulation, such as lifts and stairs, and (e) any basement—

(i) storage, and

JOB NO.

(ii) vehicular access, loading areas, garbage and services, and

DRAWING TITLE

GFA DIAGRAMS

(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and (g) car parking to meet any requirements of the consent authority (including access to that car parking), and

(h) any space used for the loading or unloading of goods (including access to it), and (i) terraces and balconies with outer walls less than 1.4 metres high, and (j) voids above a floor at the level of a storey or storey above.

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REVISION DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 MILLS-OAKLEY REVIEW 04 MILLS OAKLEY REVIEW 05 S34 SUBMISSION 06 DEVELOPMENT APPLICATION

07 DEVELOPMENT APPLICATION

08 DEVELOPMENT APPLICATION AV 17.06.0021 > 09 DEVELOPMENT APPLICATION AV 18.06.2021 AV 29.06.2021 PM 27.04.2022 AR 15.09.2022 PM 19.09.2022 NZ 13.02.2023 MY 17.06.0021

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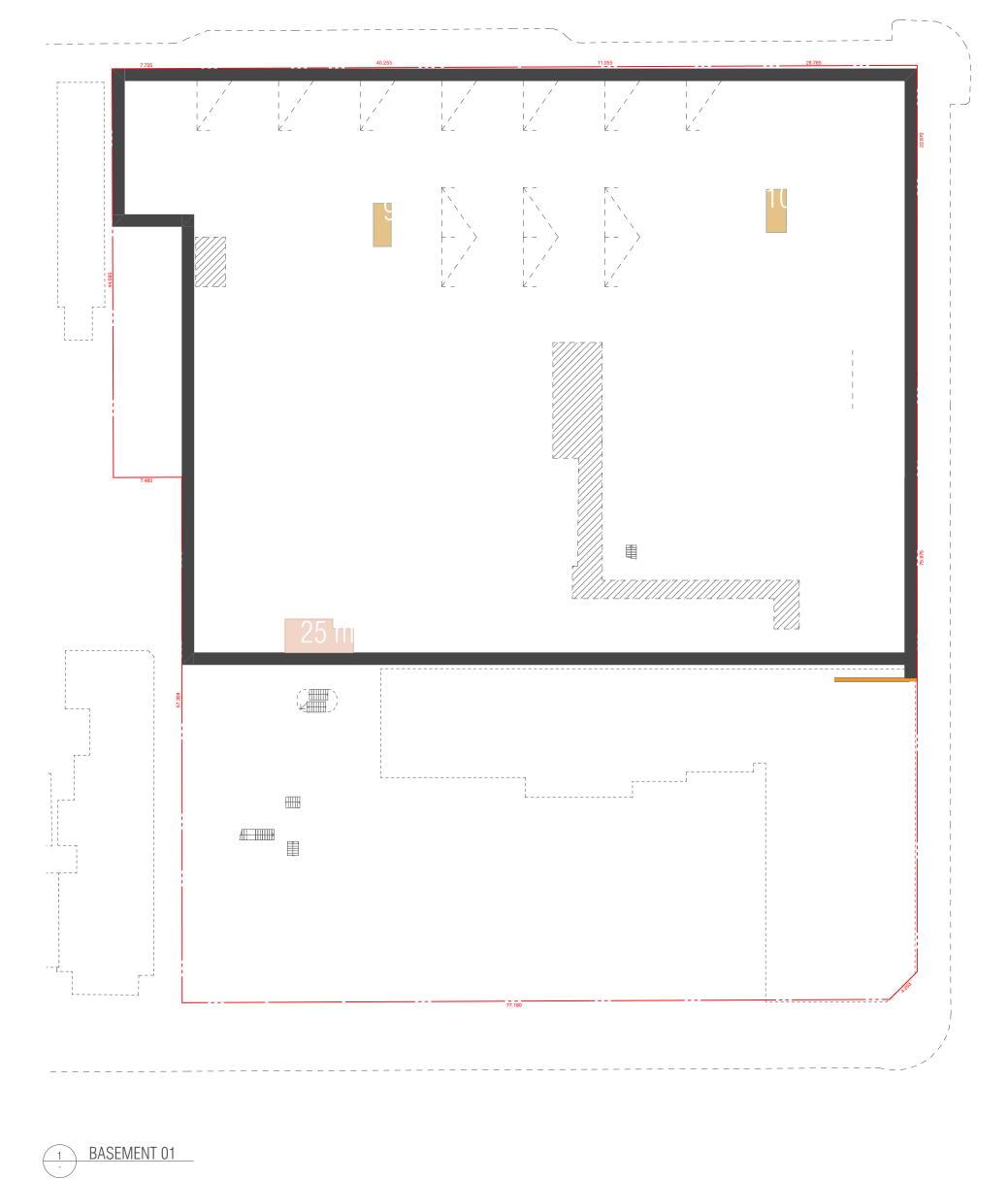
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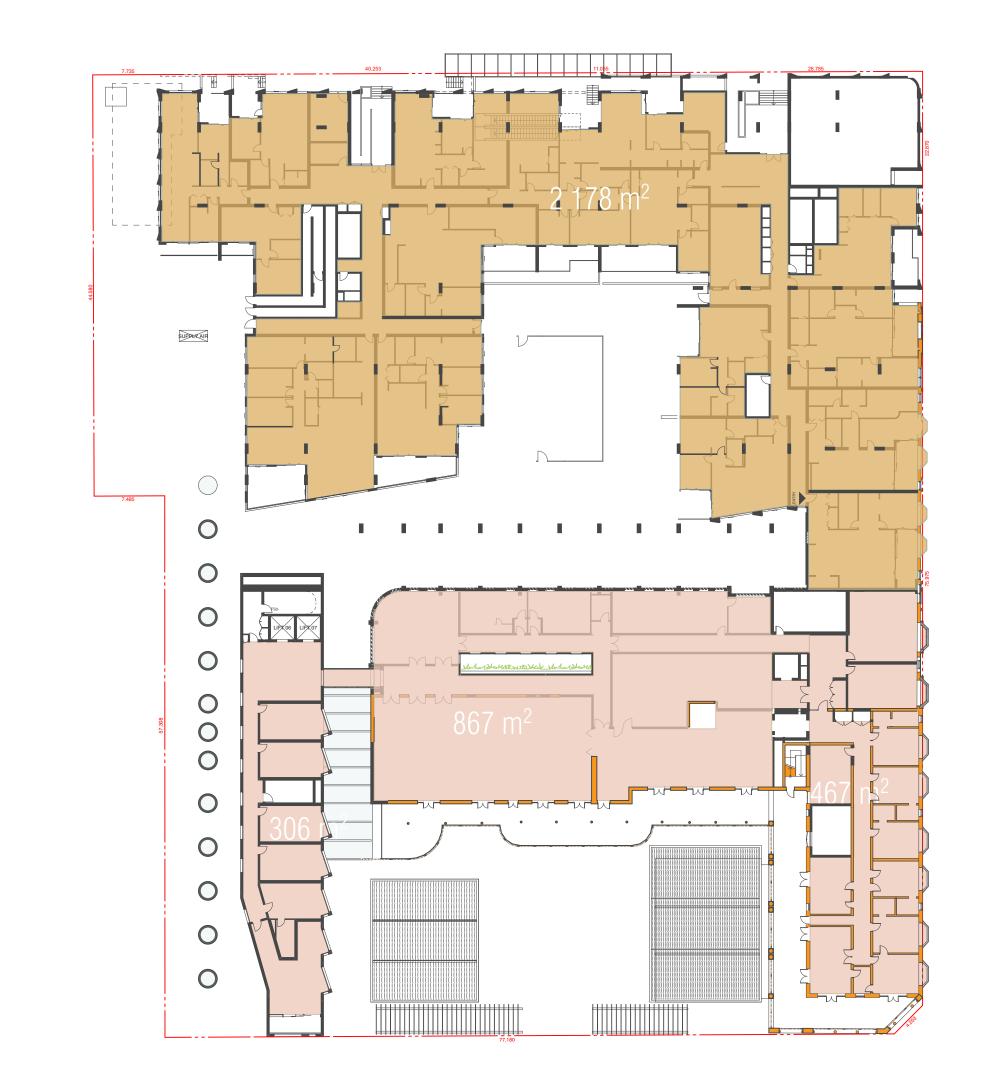


4306 m²

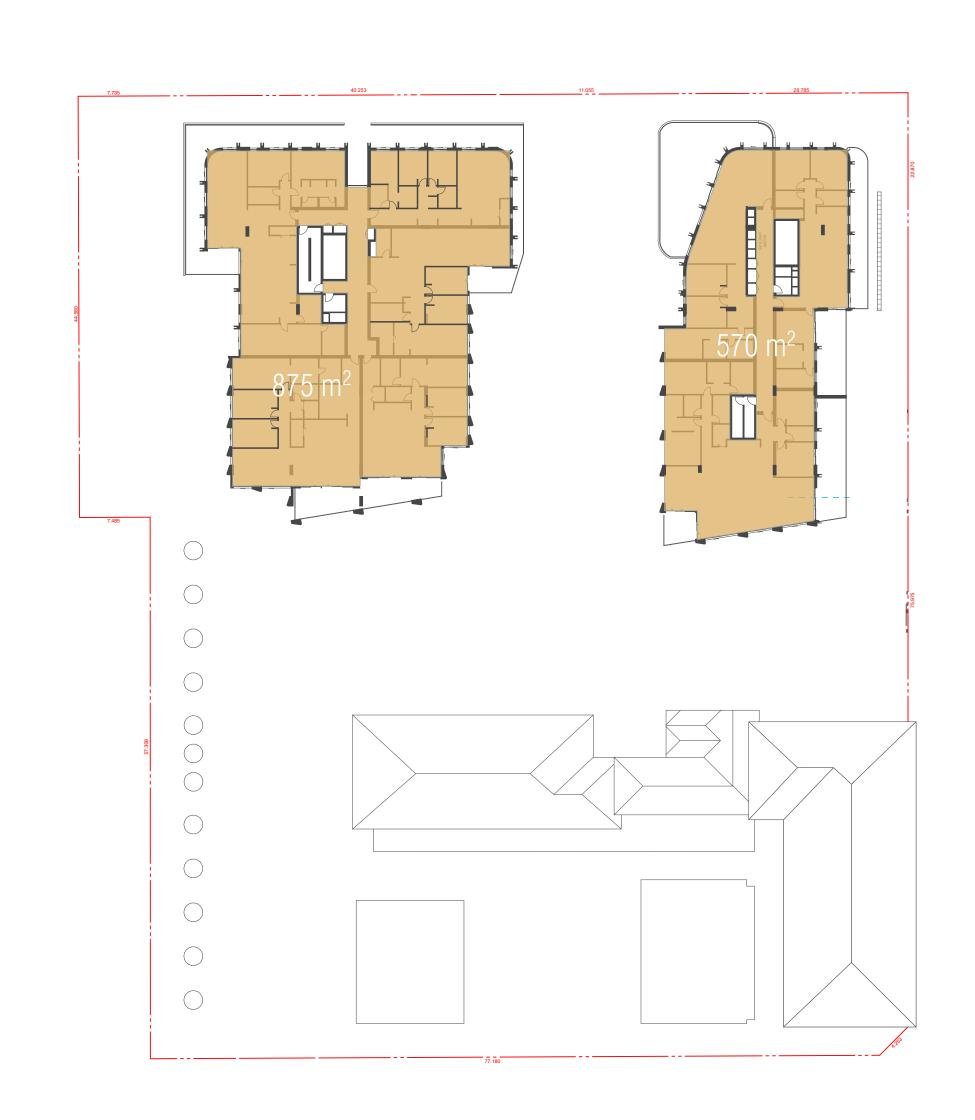


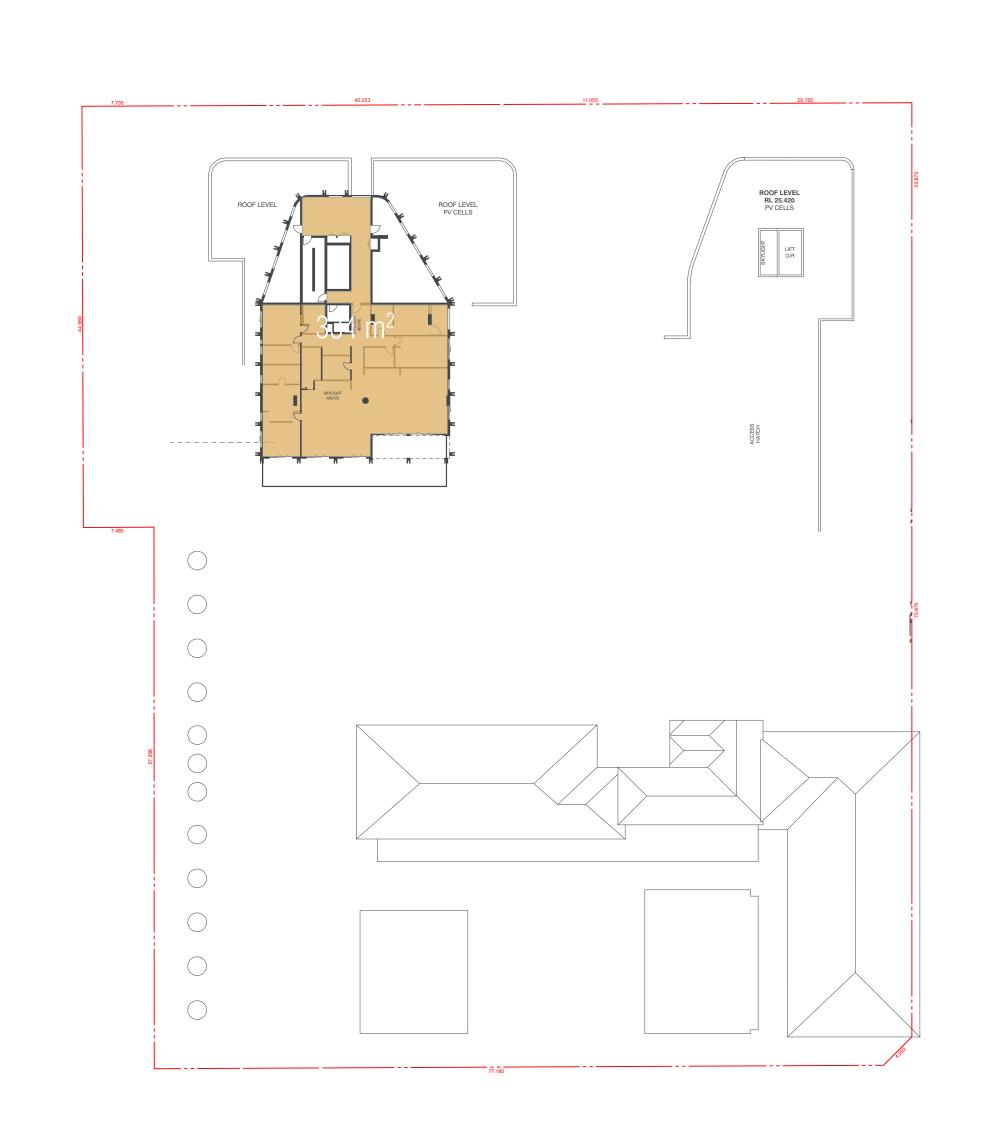


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Site Area (m²)

Allowable FSR (x:1)

Gross Floor area definition under Randwick LEP. gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes—

(a) the area of a mezzanine, and

(b) habitable rooms in a basement or an attic, and (c) any shop, auditorium, cinema, and the like, in a basement or attic,

but excludes—

(d) any area for common vertical circulation, such as lifts and stairs, and (e) any basement—

(i) storage, and

JOB NO.

(ii) vehicular access, loading areas, garbage and services, and

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GFA DIAGRAMS

(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and (g) car parking to meet any requirements of the consent authority (including access to that car parking), and

(h) any space used for the loading or unloading of goods (including access to it), and (i) terraces and balconies with outer walls less than 1.4 metres high, and (j) voids above a floor at the level of a storey or storey above.

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07 DEVELOPMENT APPLICATION

08 DEVELOPMENT APPLICATION AV 17.06.0021 > 09 DEVELOPMENT APPLICATION AV 18.06.2021 AV 29.06.2021 PM 27.04.2022 AR 15.09.2022 PM 19.09.2022 NZ 13.02.2023 MY 17.06.0021

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4306 m²



PENDING PLANT ALLOCATION TO ROOFTOPS

Landscape Area

Ground Floor

Total Planting

Total Indigenous Planting

Level 1

Level 2

Type

Planting

Planting

Planting

Planting

Planting

Area (sqm)

1669

WITHOUT PREJUDICE (NOT TO BE UPLOADED TO PLANNING PORTAL)

BIMcloud: fkaeprdbim01 - BIMcloud/19101 Coogee Bay Hotel/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/19101 CBH General

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REVISION DEVELOPMENT APPLICATION 01 DEVELOPMENT APPLICATION 02 DEVELOPMENT APPLICATION 03 MILLS-OAKLEY REVIEW 04 COURT SUBMISSION - WITHOUT PREJUDICE 05 MILLS OAKLEY REVIEW 06 S34 SUBMISSION

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253 COOGEE BAY ROAD 5-7 AND 15A VICAR STREET, COOGEE, NSW, 2034

LANDSCAPED AREA DIAGRAMS

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FENDER KATSALIDIS WWW.FKAUSTRALIA.COM L21, 259 GEORGE STREET, SYDNEY NEW SOUTH WALES 2000 AUSTRALIA TELEPHONE: +61 2 8216 3500 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

